

P

Civil Plans

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LEGEND

PROPERTY LINE (PL)	---
ADJACENT PROPERTY LINE / RIGHT-OF-WAY (ROW)	---
CENTERLINE OF ROAD	---
EXISTING ASSESSOR'S PARCEL LIMITS	---
EXISTING EASEMENTS	---
ADJACENT LOT LINES	---

EXISTING EASEMENT INFORMATION

REFER TO SHEET 3 FOR PLOTTING OF EXISTING EASEMENTS

*EXISTING EASEMENTS SHOWN IN ACCORDANCE WITH PRELIMINARY
TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED
NOVEMBER 23, 2022 AS ORDER NUMBER 00171756-996-SD1-RT4

PROPOSED EASEMENT INFORMATION

REFER TO SHEET 2 FOR PLOTTING OF PROPOSED EASEMENTS

DENSITY CALCULATIONS

GROSS ACREAGE	6.646 ACRES (289,479 SF)	
BASE UNITS ALLOWED	=	6.646 GROSS AC * 3.0 DU / AC = 19.94
BASE DENSITY PER DENSITY BONUS ROUND UP	=	20.0
3 / 20 UNITS AS AFFORDABLE	=	15.0% AFFORDABLE
50.0% DENSITY BONUS PER GOVT. CODE 65915 FOR 15% "VERY LOW" AFFORDABLE UNITS	=	30.0
PER DENSITY BONUS ROUND UP	=	30.0 UNITS

NET ACREAGE CALCULATION

NET ACREAGE CALCULATIONS	
ACREAGE 6.646 AC	GROSS ACRES
(0.09 AC)	LESS: EXISTING PUBLIC ROAD EASEMENT
(0.05 AC)	LESS: PROPOSED MELBA ROAD DEDICATION
(0.24 AC)	LESS: EXISTING ROAD & PUBLIC UTILITY EASEMENT
(0.73 AC)	LESS: PROPOSED PRIVATE ROAD LOT (LOT A)
5.54 ACRES	NET ACRES

SLOPE (%)	AREA (AC)	DENSITY (DU)
0 - 25	5.447	3.0
25 - 40	0.059	3.0 / 2
40 +	0.030	0
TOTAL	= 5.54	

SLOPE ADJUSTED	=	5.45 AC + 0.06 AC * 50% + 0.03 AC * 0%
NET ACREAGE	=	5.48 AC

INCLUSIONARY HOUSING REQUIREMENT

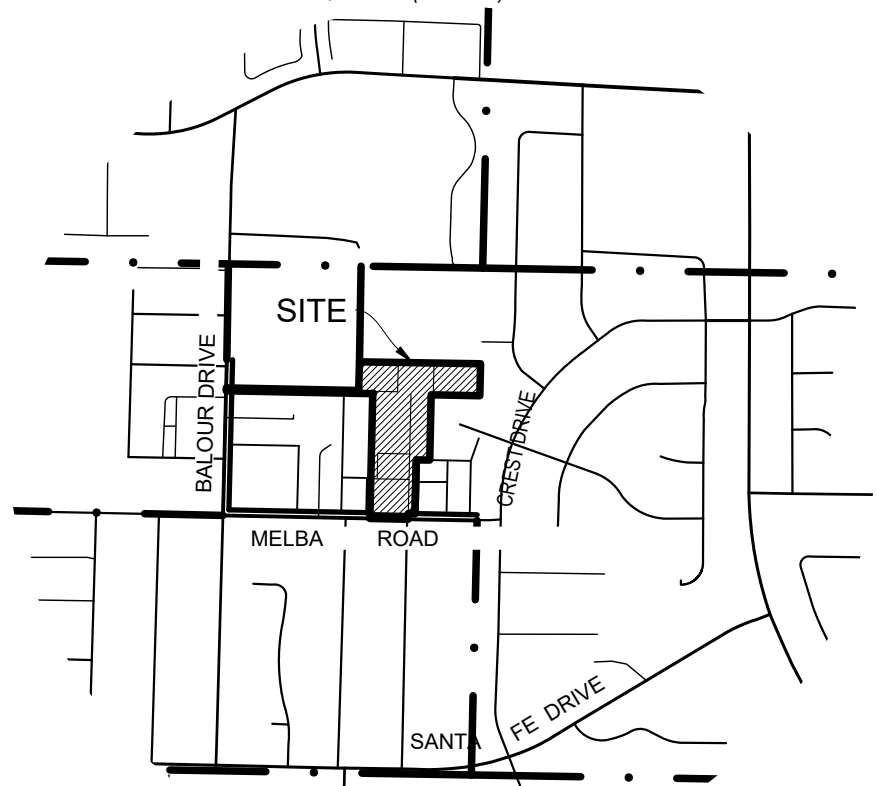
GROSS ACREAGE	=	6.646 AC
BASE DENSITY FOR INCLUSIONARY HOUSING	=	6.646 AC * 3.0 DU / AC 19.94 DU
ROUNDED DOWN	=	19.0 DU
19.0 UNITS * 0.10	=	1.9 UNITS
INCLUSIONARY UNITS PROV.	=	2.0 UNITS

10% INCLUSIONARY HOUSING
REQUIREMENT FOR "VERY LOW"
AFFORDABLE UNITS PER EMC 30.41.050
AS OF 1/15/2021

DISTURBED AREA CALCULATIONS

TOTAL EXIST. GROSS SITE AREA: 289,479 SF (6.646 AC)

AREA DISTURBED BY PROJECT: 273,457 SF (6.28 AC)



VICINITY MAP

SCALE: NTS

ABBREVIATION LEGEND

AC = ACRE
BW = BOTTOM OF WALL
ELEVATION
CY = CUBIC YARD
DU = DWELLING UNIT
EG = EXISTING GRADE
FF = FINISHED FLOOR
FG = FINISHED GRADE
FL = FLOWLINE
FS = FINISHED SURFACE
FT = FEET
FYSB = FRONT YARD SETBACK
GB = GRADE BREAK
GF = GARAGE FACE
IE = INVERT ELEVATION
LA = LANDSCAPE AREA
PL = PROPERTY LINE
RIM = TOP OF RIM ELEVATION
ROW = RIGHT-OF-WAY
RYSB = REAR YARD SETBACK
SDC GS DS = SAN DIEGO COUNTY GREEN STREET DESIGN
STANDARDS
SYSB = SIDE YARD SETBACK
TG = TOP OF GRATE ELEVATION
TW = TOP OF WALL ELEVATION
TW@EG = TOP OF WALL AT EXISTING GRADE

STATE DENSITY BONUS LAW
CONCESSIONS / INCENTIVES

- THE PROJECT IS ALLOWED THREE (3) INCENTIVES FOR INCLUDING AT LEAST 15 PERCENT OF TOTAL UNITS FOR "VERY LOW" INCOME HOUSEHOLDS PURSUANT TO STATE DENSITY BONUS LAW (SDBL), CA GOVERNMENT CODE 65915. APPLICANT IS REQUESTING TO USE TWO (2) INCENTIVES AT THIS TIME AS IDENTIFIED IN SECTION 10 OF THE LETTER TITLED "DENSITY BONUS SUBDIVISION APPLICATION SUPPLEMENT (DB)". APPLICANT REQUESTS TO USE TWO (2) INCENTIVE REQUESTS, 1. TO NOT UNDERGROUND OVERHEAD UTILITIES AND 2. FOR BUILDING HEIGHT. REFER TO SEPARATE LETTER FOR ADDITIONAL INFORMATION.
- WAIVER OF "DEVELOPMENT STANDARDS" AS IDENTIFIED IN SECTIONS 24.12.030, 24.29.020, AND 30.16.010 OF THE CITY OF ENCINITAS MUNICIPAL CODE INCLUDING NET LOT AREA, LOT WIDTH, LOT DEPTH, BUILDING HEIGHT RELATIVE TO EXISTING GRADE, SIDEYARD SETBACKS, LOT COVERAGE, PRIVATE STREETS (ROAD WIDTH AND CUL-DE-SAC RADIUS), PUBLIC STREETS (ROAD WIDTH FOR MELBA ROAD OPTION B), REFER TO SEPARATE LETTER FOR ADDITIONAL INFORMATION.

SHEET INDEX

SHEET 1 - TENTATIVE MAP TITLE SHEET AND NOTES
SHEET 2 - PROJECT KEY MAP AND PROPOSED LOT LAYOUT
SHEET 3 - EXISTING EASEMENTS EXHIBIT
SHEET 4 - PRELIMINARY GRADING PLAN (LOTS 1-6, 24-30)
SHEET 5 - PRELIMINARY GRADING PLAN (LOTS 5-14, 20-25)
SHEET 6 - PRELIMINARY GRADING PLAN (LOTS 13-23)
SHEET 7 - PRELIMINARY UTILITY PLAN
SHEET 8 - SECTIONS AND DETAILS
SHEET 9 - SECTIONS AND DETAILS
SHEET 10 - SLOPE ANALYSIS
SHEET 11 - CURB UTILIZATION EXHIBIT
SHEET 12 - MELBA ROAD FRONTAGE IMPROVEMENTS
SHEET 13 - SOIL BURIAL EXHIBIT

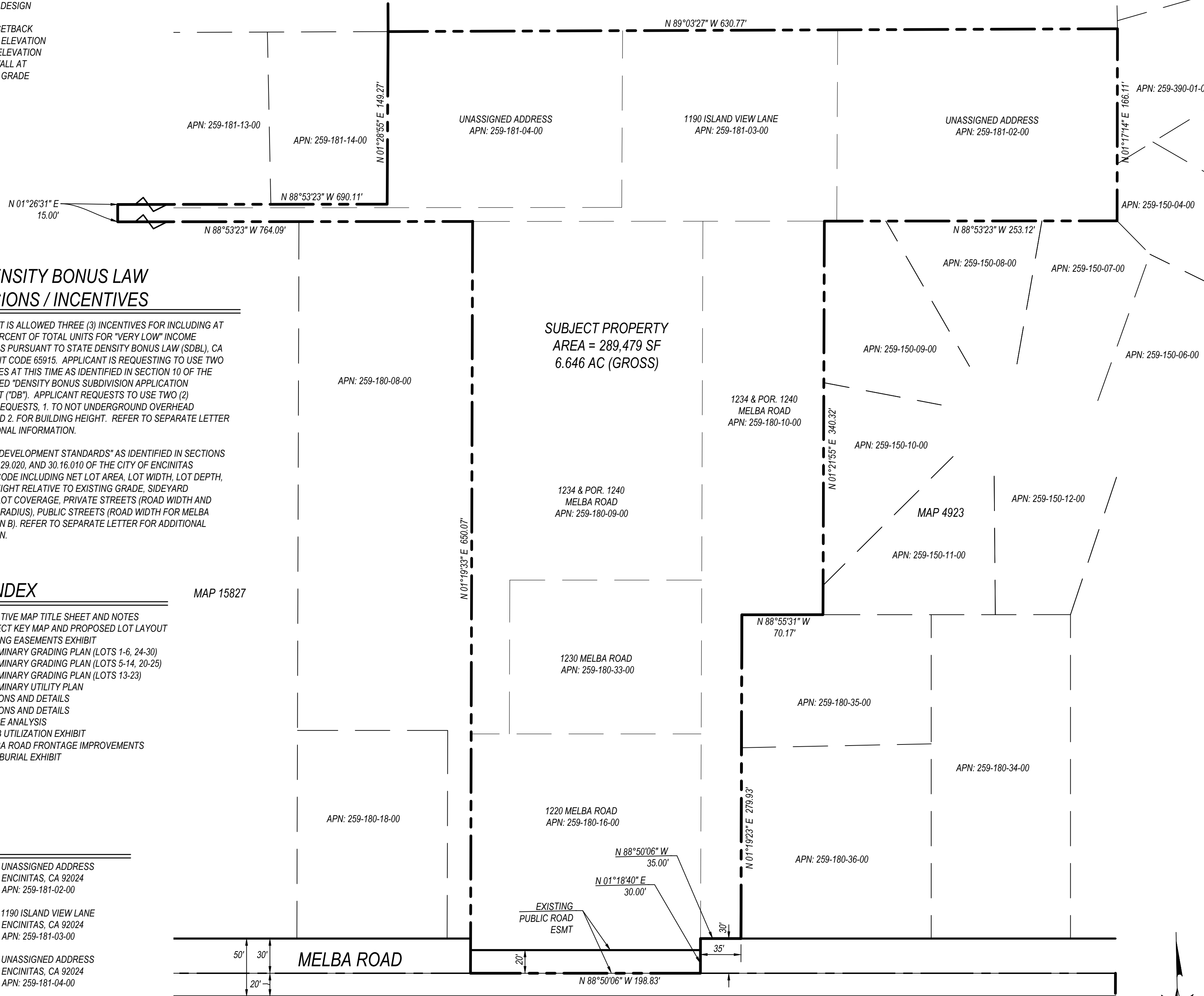
SITE ADDRESS

1220 MELBA ROAD ENCINITAS, CA 92024 APN: 259-180-16-00	UNASSIGNED ADDRESS ENCINITAS, CA 92024 APN: 259-181-02-00
1230 MELBA ROAD ENCINITAS, CA 92024 APN: 259-180-33-00	1190 ISLAND VIEW LANE ENCINITAS, CA 92024 APN: 259-181-03-00
1234 MELBA ROAD ENCINITAS, CA 92024 APNS: 259-180-09-00 259-180-10-00	UNASSIGNED ADDRESS ENCINITAS, CA 92024 APN: 259-181-04-00
1240 MELBA ROAD ENCINITAS, CA 92024 APNS: 259-180-09-00 259-180-10-00	

SCOPE OF WORK

THE PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ONSITE STRUCTURES AND CONSTRUCT A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. THE DENSITY BONUS PROJECT PROPOSES TO SUBDIVIDE THE PROPERTY TO CREATE 30 NEW SINGLE-FAMILY LOTS WITH 27 MARKET-RATE UNITS AND 3 VERY-LOW AFFORDABLE UNITS, INCLUDING THE CONSTRUCTION OF A NEW PRIVATE ROAD, AND ASSOCIATED UTILITY, DRAINAGE, AND STORM WATER TREATMENT IMPROVEMENTS. CONSTRUCTION TRAILER: THE PROJECT SEEKS APPROVAL OF A DENSITY BONUS TENTATIVE MAP, DESIGN REVIEW PERMIT, AND COASTAL DEVELOPMENT PERMIT, AND REQUESTS MULTIPLE WAIVERS OF DEVELOPMENT STANDARDS AS WELL AS TWO (2) INCENTIVES / CONCESSIONS ALLOTTED UNDER STATE DENSITY BONUS LAW BY PROVIDING AFFORDABLE HOUSING. THE PROJECT PROPOSES GRADING AND EARTHWORK THAT IS HIGHER THAN 4 FEET OF FILL COMPARED TO THE NATURAL OR EXISTING GRADE

MULTI-004309-2021 / DR-004311-2021 / SUB-004310-2021 / CDPNF-004312-2021 TORREY CREST 1220-1240 MELBA ROAD, 1190 ISLAND VIEW LANE



PLAN VIEW - EXISTING APN LAYOUT

SCALE: 1" = 60' HORIZONTAL

IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREA (ONSITE):	39,852 SF (0.915 AC)
PROPOSED IMPERVIOUS AREA HEREON (ONSITE):	151,866 SF (3.486 AC)
ASSUMED FUTURE LOT IMPERVIOUS AREA (ONSITE):	22,744 SF (0.522 AC)
TOTAL IMPERVIOUS AREA (ONSITE):	174,610 SF (4.008 AC)

INCREASE IN IMPERVIOUS AREA:	134,758 SF (3.094 AC)
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OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP, DESIGN REVIEW, AND COASTAL DEVELOPMENT PERMIT AND THAT SAID APPLICATION SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER:	DAN STAVER FOR: TORREY PACIFIC CORPORATION 1106 SECOND STREET #115 ENCINITAS, CA 92024 PH: (760) 942-3256	DATE
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SUBDIVIDER INFORMATION

THE SUBDIVIDER AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY OF ENCINITAS AND ITS AGENTS, OFFICERS, AND EMPLOYEES FROM ANY CLAIM ACTION, OR PROCEEDING AGAINST THE CITY OF ENCINITAS OR ITS AGENTS, OFFICERS OR EMPLOYEES, TO ATTACK, SET ASIDE, VOID, OR ANNUL AN APPROVAL FROM THE CITY OF ENCINITAS CONCERNING THE SUBDIVISION WHEN SUCH ACTION IS BROUGHT WITHIN THE TIME PERIOD SPECIFIED IN GOV. CODE SECTION 66499.37. THIS CERTIFICATION IS CONDITIONED UPON THE CITY OF ENCINITAS PROVIDING PROMPT NOTICE TO THE SUBDIVIDER AS PROVIDED FOR BY THE ACT (GOV. CODE 66474.9)

SUBDIVIDER:	DAN STAVER FOR: TORREY PACIFIC CORPORATION 1106 SECOND STREET #115 ENCINITAS, CA 92024 PH: (760) 942-3256	DATE
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ABBREVIATED LEGAL DESCRIPTION

**PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

**FOR FULL LEGAL DESCRIPTION, REFER TO PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED NOVEMBER 23, 2022 AS ORDER NUMBER 00171756-996-SD1-RT4

TOPOGRAPHY

TOPOGRAPHY OBTAINED BY: FIELD SURVEY
TOPOGRAPHY OBTAINED ON: SEPTEMBER 25, 2019
PREPARED BY: PASCO, LARET, SUITER & ASSOCIATES

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON A WELL MONUMENT AT THE CENTER OF CUL DE SAC, EAST END OF ORANGE VIEW DRIVE, PER ROS 18416, AS PT. NO. 1035
ELEVATION = 243.238
DATUM = NAVD 88

UTILITIES

WATER	SAN DIEGUITO WATER DISTRICT
FIRE	ENCINITAS FIRE PROTECTION DISTRICT
SEWER	CARDIFF SANITARY DIVISION
ELEMENTARY SCHOOL	ENCINITAS UNION SCHOOL DISTRICT
HIGH SCHOOL	SAN DIEGUITO UNION HIGH SCHOOL DISTRICT

ZONING INFORMATION

GENERAL PLAN DESIGNATION:	R-3	PRESENT USE:	RESIDENTIAL
PRESENT ZONING REQUIREMENTS:	R-3	PROPOSED USE:	30 SINGLE-FAMILY RESIDENCES
BUILDING HEIGHT:	*PER CODE 30.16.010 B7		30 SINGLE-FAMILY LOTS 1 PRIVATE ROAD LOT 1 NON-BUILDABLE PANHANDLE LOT 27 MARKET-RATE UNITS 3 VERY-LOW AFFORDABLE UNITS*

*SEE NOTE REGARDING BUILDING HEIGHT ON SHEET 2

SMALLEST PROPOSED LOT:	LOT 17 (4,434 SF)
LARGEST PROPOSED LOT:	LOT 1 (14,456 SF)
AVERAGE PROPOSED LOT SIZE:	8,072 SF

*SEE AFFORDABLE HOUSING PLAN

EARTHWORK / PROJECT GRADING

CUT:	24,500 CY	MAX CUT HEIGHT:	8.0 FT
FILL:	5,500 CY	MAX FILL HEIGHT:	7.5 FT
EXPORT:	19,000 CY	AVG. CUT HEIGHT:	2.2 FT
REMEDIAL:	~8,000 CY	AVG. FILL HEIGHT:	0.6 FT

*ESTIMATE DOES NOT INCLUDE STRIPPINGS OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS

CONTRACTOR SHALL SELF SATISFY THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. THESE QUANTITIES ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING DESIGN AND DETAILING

ACCESS

MELBA ROAD, A PUBLIC ROAD

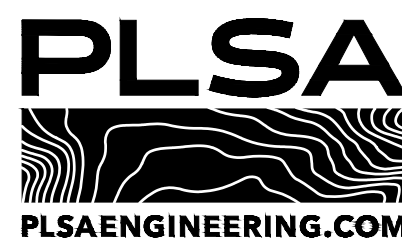
PREPARED BY

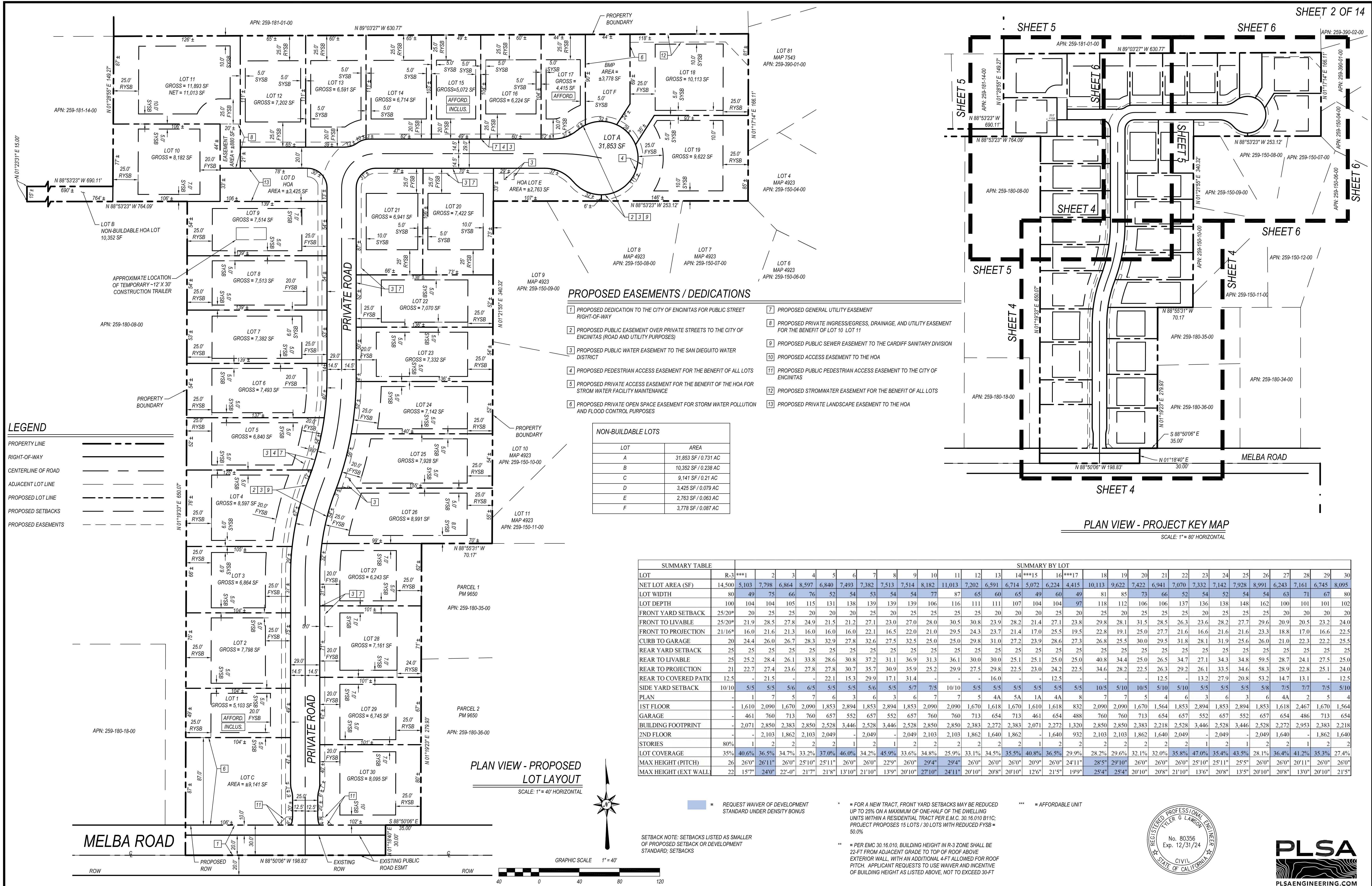
PREPARED BY:
PASCO, LARET, SUITER & ASSOCIATES
1911 SAN DIEGO AVENUE,
SAN DIEGO, CA 92110
PH: (858) 259-8212

ENGINEER OF WORK

TYLER LAWSON, PE #80356

DATE





APN: 259-181-01-00

N 89°03'27" W 630.77'

APN: 259-181-07-00

PARCEL 1
PM 4156PARCEL 2
PM 4156PARCEL 3
PM 4156PARCEL 1
PM 7739PARCEL 2
PM 7739

APN: 259-181-09-00

APN: 259-181-10-00

APN: 259-181-11-00

APN: 259-181-13-00

APN: 259-181-14-00

APN: 259-181-08-00

PARCEL 9
IN PTRPARCEL 9
IN PTRPARCEL 8
IN PTRPARCEL 4
IN PTRPARCEL 2
POR. NE 1/4, SW 1/4
SEC. 14, T 13 S, R 4 W

N 88°53'23" W 253.12'

APN: 259-150-08-00

EXISTING PARCEL INFORMATION

PARCEL NUMBERS LISTED HEREON SHOWN IN ACCORDANCE WITH PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED NOVEMBER 23, 2022 AS ORDER NUMBER 001171756-996-SD1-R74

**FOR FULL LEGAL DESCRIPTION OF EXISTING PARCELS, REFER TO PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED NOVEMBER 23, 2022 AS ORDER NUMBER 001171756-996-SD1-R74

LEGEND

PROPERTY LINE

RIGHT-OF-WAY

CENTERLINE OF ROAD

EXISTING EASEMENTS

EXISTING LOT LINES

ADJACENT LOT LINE

EXISTING EASEMENT INFORMATION

- 2 AN EASEMENT FOR POLES, WIRES AND ANCHORS FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED JANUARY 5, 1939 IN BOOK 854, PAGE 424 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC TO BE QUITCLAIMED BY SDG&E TO SUBJECT PROPERTY.
- 3 THE RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS GRANTED ON OCTOBER 29, 1953 IN BOOK 5030, PAGE 290 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO TO REMAIN.
- 4 AN EASEMENT FOR TRANSMISSION & CONTRIBUTION OF GAS AND INCIDENTAL PURPOSES, RECORDED APRIL 8, 1973 AS INSTRUMENT NO. 75-079986 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS TO BE QUITCLAIMED BY SDG&E TO SUBJECT PROPERTY.
- 5 AN EASEMENT FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED AUGUST 11, 1938 IN BOOK 808, PAGE 216 OF OFFICIAL RECORDS IN FAVOR OF ANTON VAN AMERSFOOT TO REMAIN.
- 6 AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1953 AS INSTRUMENT NO. 146900 OF OFFICIAL RECORDS, IN FAVOR OF THE COUNTY OF SAN DIEGO TO REMAIN.
- 7 AN EASEMENT FOR THE RIGHT AND PRIVILEGE TO PLACE AND MAINTAIN AN ANCHOR TO SUPPORT A LINE OF POLES AND WIRES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 30, 1947 AS BOOK 2597, PAGE 185 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY (BLANKET IN NATURE, APPROXIMATE LOCATION SHOWN OF CENTERLINE OF UNDISCLOSED WIDTH) TO BE QUITCLAIMED BY SDG&E TO SUBJECT PROPERTY OVER PARCEL 7, TO REMAIN OVER PARCEL 8.

- 9 AN EASEMENT FOR RIGHT OF WAY FOR PUBLIC ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 16, 1961 AS INSTRUMENT NO. 174555 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO TO REMAIN (NOT PLOTTABLE - BLANKET IN NATURE)
- 10 AN EASEMENT FOR ROAD AND PUBLIC UTILITY PURPOSES IN THE DOCUMENT RECORDED MAY 19, 1964 AS INSTRUMENT NO. 50885 OF OFFICIAL RECORDS IN FAVOR OF ISADORE I. STONE AND TYBIE STONE TO REMAIN.
- 11 AN EASEMENT FOR EITHER OR BOTH POLE LINES, UNDERGROUND CONDUITS TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED MARCH 8, 1977 AS INSTRUMENT NO. 1977-84269 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY TO REMAIN.
- 12 AN EASEMENT FOR PLACE, LAY, CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR, REPLACE, RECONSTRUCT AND/OR REMOVE AT ANY TIME AND FROM TIME TO TIME, FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY FOR ALL PURPOSES FOR WHICH IT MAY BE USED, UNDERGROUND FACILITIES, CONSISTING OF CONDUITS, MANHOLES, HANDHOLES AND JUNCTION BOXES WITH WIRES AND CABLES PLACED THEREIN AND ABOVEGROUND STRUCTURES CONSISTING OF PADS, TRANSFORMERS AND OTHER ABOVEGROUND STRUCTURES NECESSARY FOR THE OPERATION OF SAID UNDERGROUND FACILITIES AND ALL MISCELLANEOUS EQUIPMENT AND MATERIAL CONNECTED THEREWITH, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS THEREFROM AND INCIDENTAL PURPOSES, RECORDED MAY 23, 1978 AS INSTRUMENT NO. 1978-209946 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY TO REMAIN.

**EXISTING EASEMENTS SHOWN IN ACCORDANCE WITH PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED NOVEMBER 23, 2022 AS ORDER NUMBER 001171756-996-SD1-R74

**EXCEPTION 1 AS LISTED IN PRELIMINARY TITLE REPORT IS NOT A PLOTTABLE EASEMENT AND NOT SHOWN HEREON, APPLIES TO OFF SITE EASEMENT PARCEL, PARCEL 4.

PROPOSED EASEMENT INFORMATION

REFER TO SHEET 2 FOR PLOTTING OF PROPOSED EASEMENTS

MAP 15827

APN: 259-180-08-00

N 01°19'33" E 650.07'

PARCEL 4
IN PTR

APN: 259-180-18-00

MELBA ROAD

SUBJECT PROPERTY
AREA = 289,503 SF
6.646 AC (GROSS)PARCEL 1
POR. NE 1/4, SW 1/4,
SEC. 14, T 13 S, R 4 WPARCEL 6
POR. NE 1/4, SW 1/4
SEC 14, T 13 S, R 4 WPARCEL 5
POR. NE 1/4, SW 1/4
SEC. 14, T 13 S, R 4 WN 88°50'06" W
35.00'N 01°18'40" E
30.00'

N 88°50'06" W 198.83'

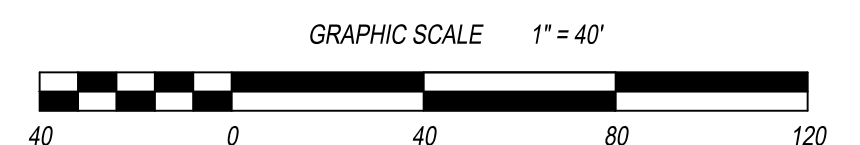
N 88°55'31" W
70.17'

APN: 259-180-35-00

APN: 259-180-36-00

PLAN VIEW - EXISTING EASEMENTS

SCALE: 1" = 40' HORIZONTAL



SEE CONTINUATION SHEET 5

SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION. FOR PROPOSED PUBLIC WATER AND SEWER UTILITIES, SEE SHEET 7 FOR PRELIMINARY UTILITY PLAN.
- ALL EXISTING ONSITE STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
- ALL EXISTING ONSITE TREES TO BE REMOVED UNLESS OTHERWISE NOTED.
- HARDSCAPE SHALL DRAIN AWAY FROM PROPOSED STRUCTURES AT A MINIMUM OF 2.0% FOR 10 FEET, AND LANDSCAPE FOR A MINIMUM OF 5.0% IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE SECTION 1804.4.

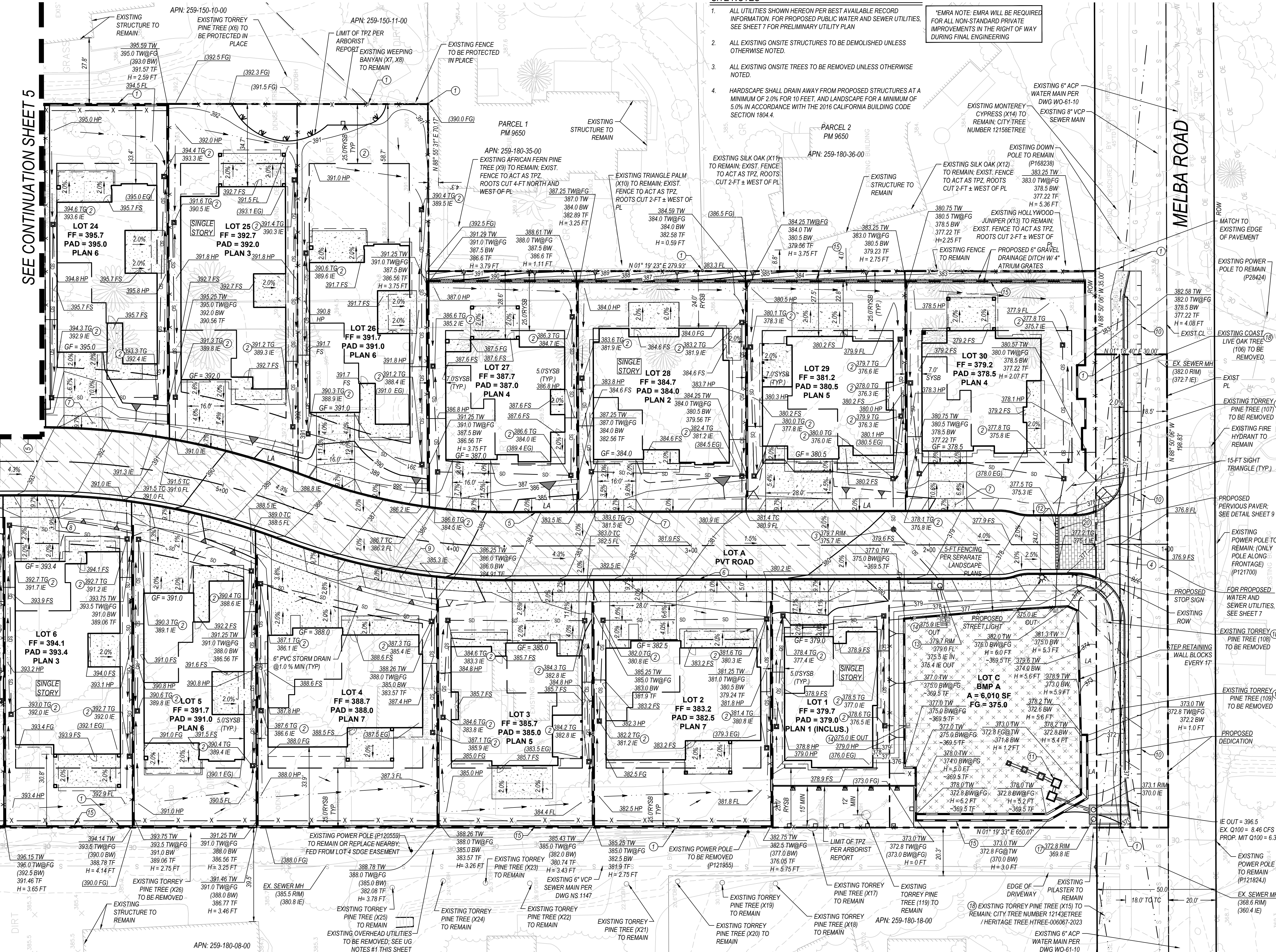
*EMRA NOTE: EMRA WILL BE REQUIRED FOR ALL NON-STANDARD PRIVATE IMPROVEMENTS IN THE RIGHT OF WAY DURING FINAL ENGINEERING

LEGEND

EXISTING SUBDIVISION BOUNDARY (PL)	---
CENTERLINE OF ROAD	---
RIGHT-OF-WAY	---
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED FLOWLINE	---
PROPOSED DIRECTION OF FLOW	---
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	---
PROPOSED FENCE (PER SEPARATE LANDSCAPE PLANS)	---
PROPOSED 6" STORM DRAIN @ 1.0% MIN	---
PROPOSED 12" AREA DRAIN	---
PROPOSED 6" STORM DRAIN CLEANOUT	---
PROPOSED 18" PVC STORM DRAIN @ 1.0% MIN	---
PROPOSED TYPE-B CURB INLET PER SDRSD D-2	---
PROPOSED TYPE A-4 STORM DRAIN CLEANOUT PER SDRSD D-9	---
PROPOSED LIMIT OF GRADING	---
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	---
PROPOSED PCC PAVEMENT	---
PROPOSED AC PAVEMENT (4" AC OVER 6" CLASS II AB MIN OR PER GEOTECH RECOMMENDATION)	---
PROPOSED 6" GRAVEL DRAINAGE DITCH	---
PROPOSED BMP BIOFILTRATION BASIN PER DETAIL SHEET 9	---
PROPOSED MASONRY RETAINING WALL	---
PROPOSED 6"x16" FLUSH CURB	---
EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	---
EXISTING TREE	---
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	---
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	---
PROPOSED FINISHED SURFACE CALLOUT	---
EXISTING FINISHED SURFACE CALLOUT	---
PROPOSED FILL SLOPE	---
PROPOSED CUT SLOPE	---
SHEET MATCHLINE	---

CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 6" TRAFFIC RATED PRIVATE STORM DRAIN CLEANOUT BY NDS OR APPROVED EQUAL
- PROPOSED PCC CROSS-GUTTER PER SDRSD G-12
- PROPOSED 6" PCC CURB PER SDRSD G-1
- PROPOSED 6" PCC CURB AND GUTTER PER SDRSD G-2
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14C
- PROPOSED PCC SIDEWALK PER SDRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 9
- PROPOSED BMP OUTLET STRUCTURES SEE SHEET 10 FOR BMP DETAILS
- PROPOSED 12" TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-2
- OUTLET STORM DRAIN THROUGH RETAINING WALL; PROPOSED 4" X 4" ROCK RIP RAP ENERGY DISSIPATOR; 1.1" THICK, NO. 2 BACKING PER SDRSD D-34, D-40
- PROPOSED MASONRY RETAINING WALL PER SDRSD C-03
- PROPOSED TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED CLEANOUT PER SDRSD D-08 WITH CURB OUTLET PER SDRSD D-25
- EXISTING TREE TO REMAIN; SEE STREET TREE NOTE 1 BELOW AND SHEET 13 FOR ADDITIONAL INFORMATION
- PROPOSED FREE-STANDING MASONRY WALL (NON-RETAINING) (NOT USED THIS SHEET)
- PROPOSED 6" X 16" PCC FLUSH CURB



ABBREVIATIONS

*SEE SHEET 1 FOR ABBREVIATION LEGEND

PROPOSED EASEMENTS / DEDICATIONS

*SEE SHEET 2 FOR PROPOSED EASEMENTS AND DEDICATIONS

UG NOTES

- EXISTING OVERHEAD UTILITIES TO BE REMOVED ALONG WESTERN PL BETWEEN PLOT 121824J AND P120556 AND ON NORTHERN PL OF 1210 MELBA ROAD BETWEEN P120556 AND P120555. NEW UNDERGROUND SERVICE VIA PROJECT TO P120559 AND P120558 TO BE ADDED; OVERHEAD SERVICE FROM P120559 TO 1210 MELBA ROAD BARN TO REMAIN AND OVERHEAD SERVICE FROM P120559 TO 1210 MELBA RESIDENCE TO REMAIN.

PLAN VIEW - PRELIMINARY GRADING PLAN

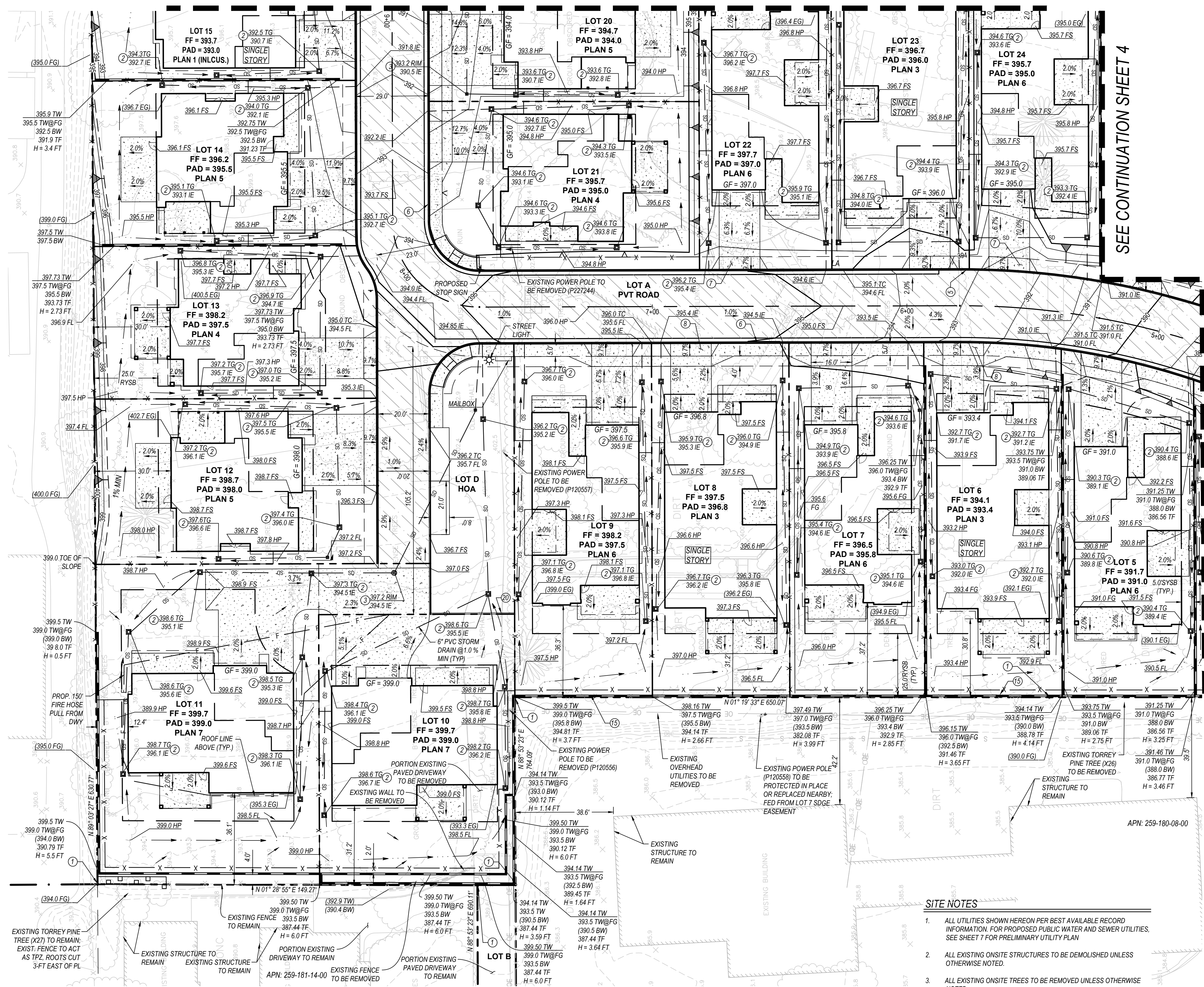
SCALE: 1" = 20' HORIZONTAL

STREET TREE NOTE

- SEE SHEET 13 FOR MELBA ROAD FRONTAGE OPTION "B". TREES 106, 107, 108, 109, X15 AND X16 TO REMAIN ON MELBA ROAD FRONTAGE OPTION "B". REFER TO SEPARATE ARBORIST REPORT FOR RECOMMENDATIONS WITHIN THE TREE PROTECTION ZONE (TPZ) FOR THE EXISTING TREES ON PRIVATE PROPERTY AND ALONG PROPERTY BOUNDARY TO BE PROTECTED IN PLACE



MATCHLINE: SEE SHEET 6



SEE CONTINUATION SHEET 4

SEE CONTINUATION SHEET 4

LEGEND

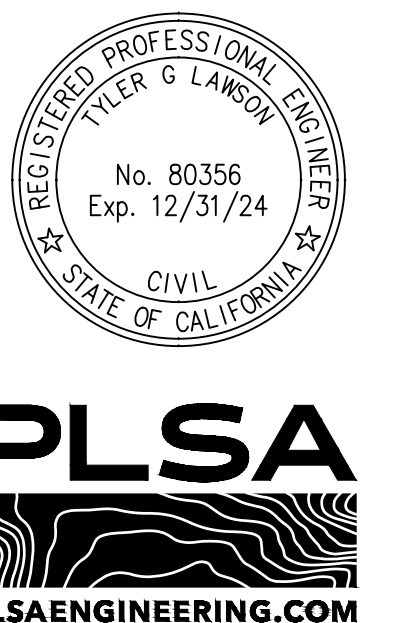
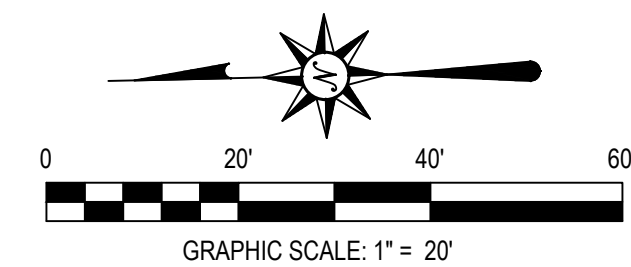
EXISTING SUBDIVISION BOUNDARY (PL)	
CENTERLINE OF ROAD	
RIGHT-OF-WAY	
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	
ADJACENT PROPERTY LINE	
SETBACK LINE	
EXISTING CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED FLOWLINE	
PROPOSED DIRECTION OF FLOW	
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	
PROPOSED FENCE (PER SEPARATE LANDSCAPE PLANS)	
PROPOSED 6" STORM DRAIN @ 1.0% MIN	
PROPOSED 12" AREA DRAIN	
PROPOSED 6" STORM DRAIN CLEANOUT	
PROPOSED 18" PVC STORM DRAIN @ 1.0% MIN	
PROPOSED TYPE-B CURB INLET PER SDSRSD D-2	
PROPOSED TYPE A-4 STORM DRAIN CLEANOUT PER SDSRSD D-9	
PROPOSED LIMIT OF GRADING	
PROPOSED 6" PCC CURB & GUTTER PER SDSRSD G-2	
PROPOSED PCC PAVEMENT	
PROPOSED AC PAVEMENT (4" AC OVER 6" CLASS II AB MIN OR PER GEOTECH RECOMMENDATION)	
PROPOSED 6" GRAVEL DRAINAGE DITCH	
PROPOSED BMP BIOFILTRATION BASIN PER DETAIL SHEET 9	
PROPOSED MASONRY RETAINING WALL	
PROPOSED 6"x16" FLUSH CURB	
EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	
EXISTING TREE	
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	
PROPOSED FINISHED SURFACE CALLOUT	
EXISTING FINISHED SURFACE CALLOUT	
PROPOSED FILL SLOPE	
PROPOSED CUT SLOPE	
SHEET MATCHLINE	

CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 6" TRAFFIC RATED PRIVATE STORM DRAIN CLEANOUT BY NDS OR APPROVED EQUAL
- PROPOSED PCC CROSS-GUTTER PER SDSRSD G-12 (NOT USED THIS SHEET)
- PROPOSED 6" PCC CURB PER SDSRSD G-1
- PROPOSED 6" PCC CURB AND GUTTER PER SDSRSD G-2
- PROPOSED PCC DRIVEWAY APRON PER SDSRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDSRSD G-14C
- PROPOSED PCC SIDEWALK PER SDSRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 9 (NOT USED THIS SHEET)
- PROPOSED BMP OUTLET STRUCTURES SEE SHEET 10 FOR BMP DETAILS (NOT USED THIS SHEET)
- PROPOSED 12" TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDSRSD D-02
- OUTLET STORM DRAIN THROUGH RETAINING WALL; PROPOSED 4' X 4' ROCK RIP RAP ENERGY DISSIPATER; 1.1" THICK, NO. 2 BACKING PER SDSRSD D-34, D-40 (NOT USED THIS SHEET)
- PROPOSED MASONRY RETAINING WALL PER SDSRSD C-03
- PROPOSED TRENCH DRAIN BY NDS OR APPROVED EQUAL (NOT USED THIS SHEET)
- PROPOSED CLEANOUT PER SDSRSD D-09 WITH CURB OUTLET PER SDSRSD D-25 (NOT USED THIS SHEET)
- EXISTING TREE TO REMAIN: SEE STREET TREE NOTE 1 BELOW AND SHEET 13 FOR ADDITIONAL INFORMATION
- PROPOSED FREE-STANDING MASONRY WALL (NON-RETAINING) (NOT USED THIS SHEET)
- PROPOSED 6" X 16" PCC FLUSH CURB

SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION. FOR PROPOSED PUBLIC WATER AND SEWER UTILITIES, SEE SHEET 7 FOR PRELIMINARY UTILITY PLAN
- ALL EXISTING ONSITE STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
- ALL EXISTING ONSITE TREES TO BE REMOVED UNLESS OTHERWISE NOTED.
- HARDSCAPE SHALL DRAIN AWAY FROM PROPOSED STRUCTURES AT A MINIMUM OF 2.0% FOR 10 FEET, AND LANDSCAPE FOR A MINIMUM OF 5.0% IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE SECTION 1804.4.



LEGEND

EXISTING SUBDIVISION BOUNDARY (PL)	
CENTERLINE OF ROAD	
RIGHT-OF-WAY	
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	
ADJACENT PROPERTY LINE	
SETBACK LINE	
EXISTING CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED FLOWLINE	
PROPOSED DIRECTION OF FLOW	
PROPOSED FENCE (PER SEPARATE LANDSCAPE PLANS)	
PROPOSED 6" STORM DRAIN @ 1.0% MIN	
PROPOSED 6" STORM DRAIN CLEANOUT	
PROPOSED 18" PVC STORM DRAIN @ 1.0% MIN	
PROPOSED TYPE-B CURB INLET PER SDRSD D-2	
PROPOSED TYPE A-4 STORM DRAIN CLEANOUT PER SDRSD D-9	
PROPOSED LIMIT OF GRADING	
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	
PROPOSED PCC PAVEMENT	
PROPOSED AC PAVEMENT (4" AC OVER 6" CLASS II AB MIN OR PER GEOTECH RECOMMENDATION)	
PROPOSED 6" GRAVEL DRAINAGE DITCH	
PROPOSED BMP BIOFILTRATION BASIN PER DETAIL SHEET 9	
PROPOSED MASONRY RETAINING WALL	
PROPOSED 6"X16" FLUSH CURB	
EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	
EXISTING TREE	
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	
PROPOSED FINISHED SURFACE CALLOUT	
EXISTING FINISHED SURFACE CALLOUT	
PROPOSED FILL SLOPE	
PROPOSED CUT SLOPE	
SHEET MATCHLINE	

CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 6" TRAFFIC RATED PRIVATE STORM DRAIN CLEANOUT BY NDS OR APPROVED EQUAL
- PROPOSED PCC CROSS-GUTTER PER SDRSD G-12 (NOT USED THIS SHEET)
- PROPOSED 6" PCC CURB PER SDRSD G-1
- PROPOSED 6" PCC CURB AND GUTTER PER SDRSD G-2
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14C
- PROPOSED PCC SIDEWALK PER SDRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 9 (NOT USED THIS SHEET)
- PROPOSED BMP OUTLET STRUCTURES SEE SHEET 10 FOR BMP DETAILS
- PROPOSED 12" TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- OUTLET STORM DRAIN THROUGH RETAINING WALL; PROPOSED 4" X 4" ROCK RIP RAP ENERGY DISSIPATER; 1.1" THICK, NO. 2 BACKING PER SDRSD D-34, D-40 (NOT USED THIS SHEET)
- PROPOSED MASONRY RETAINING WALL PER SDRSD C-03
- PROPOSED TRENCH DRAIN BY NDS OR APPROVED EQUAL (NOT USED THIS SHEET)
- PROPOSED CLEANOUT PER SDRSD D-09 WITH CURB OUTLET PER SDRSD D-25 (NOT USED THIS SHEET)
- EXISTING TREE TO REMAIN; SEE STREET TREE NOTE 1 BELOW AND SHEET 13 FOR ADDITIONAL INFORMATION
- PROPOSED FREE-STANDING MASONRY WALL (NON-RETAINING) (NOT USED THIS SHEET)
- PROPOSED 6" X 16" PCC FLUSH CURB

SEE CONTINUATION SHEET 5

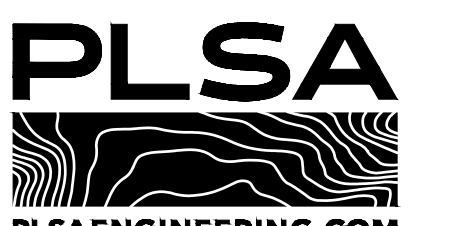
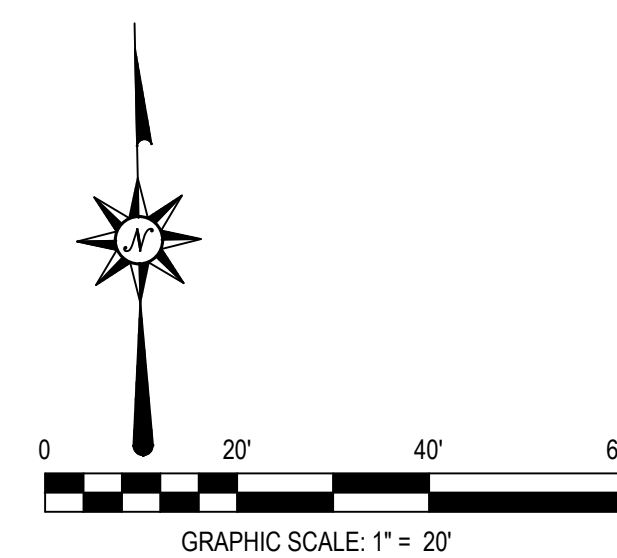
SEE CONTINUATION SHEET 4

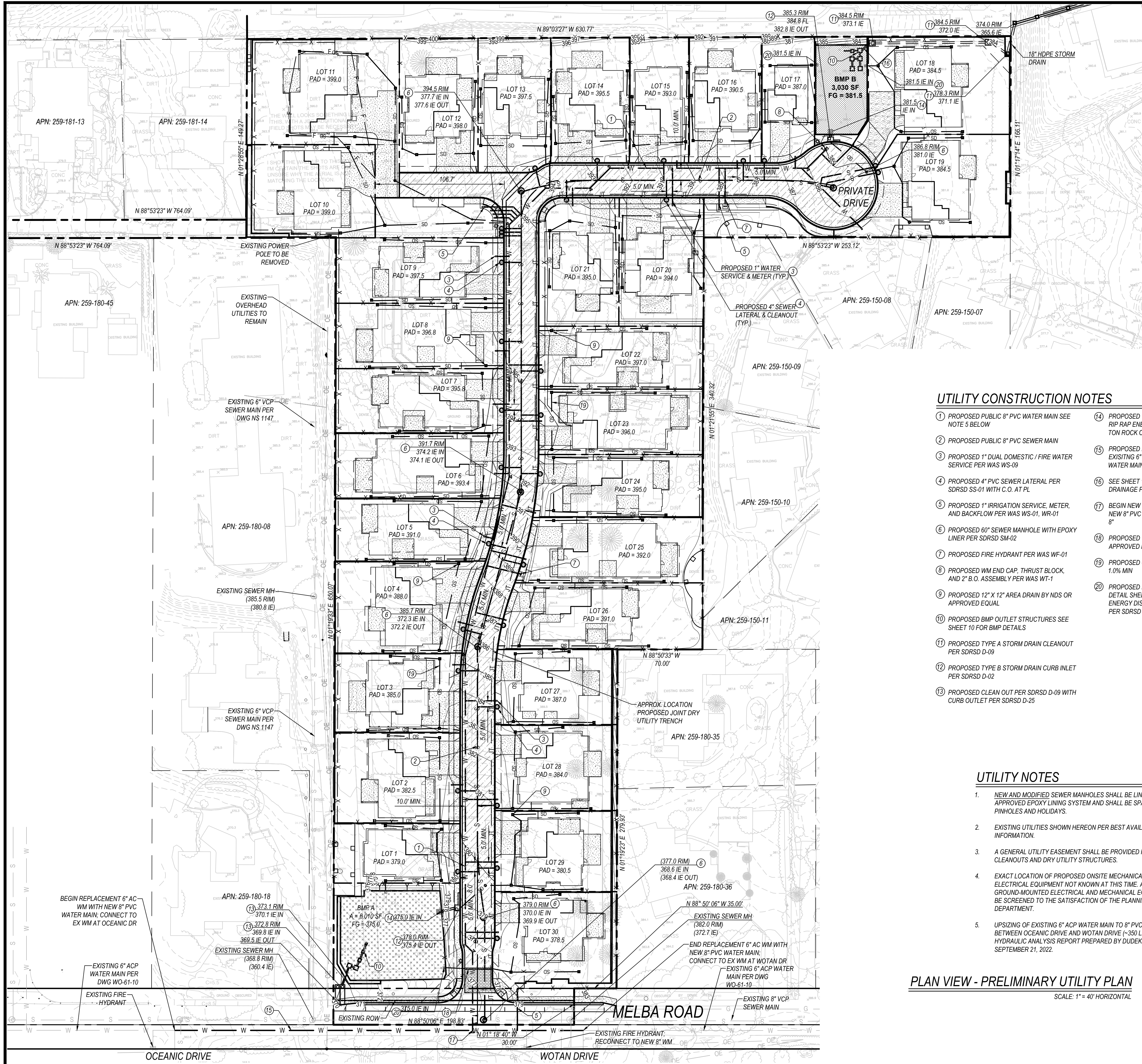
PROPOSED EASEMENTS / DEDICATIONS

*SEE SHEET 2 FOR PROPOSED EASEMENTS AND DEDICATIONS

PLAN VIEW - PRELIMINARY GRADING PLAN

SCALE: 1" = 20' HORIZONTAL





LEGEND

SUBDIVISION BOUNDARY	---
SUBDIVISION BOUNDARY (PROPOSED AFTER RIGHT-OF-WAY DEDICATION)	---
EXISTING RIGHT-OF-WAY	---
ADJACENT PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED EASEMENT	---
EXISTING EASEMENT	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
EXISTING WATER MAIN (SIZE PER PLAN)	W --- W
EXISTING SEWER MAIN (SIZE PER PLAN)	S --- S
EXISTING SEWER MANHOLE	⊙
PROPOSED JOINT DRY UTILITY TRENCH	— JT — JT —
PROPOSED 8" PVC WATER MAIN	W --- W
PROPOSED 8" PVC SEWER MAIN	S --- S
PROPOSED 1" WATER SERVICE AND METER PER WAS WS-09	W --- W
PROPOSED 4" SEWER LATERAL PER SDRSD SS-01	S --- S
PROPOSED 6" PVC STORM DRAIN @ 1.0% MIN.	SD --- SD
PROPOSED 3" PVC SIDEWALK UNDERDRAIN	---
PROPOSED 18" PVC STORM DRAIN @ 1.0% MIN	---
PROPOSED TYPE B CURB INLET PER SDRSD D-2	⌋
PROPOSED TYPE A-4 STORM DRAIN CLEANOUT PER SDRSD D-9	⌋
PROPOSED 12" AREA DRAIN BY NDS OR APPROVED EQUAL	⌋
PROPOSED 6" TRAFFIC RATED STORM DRAIN CLEANOUT	⌋
PROPOSED THRUST BLOCK PER WAS WT-1	⌋
PROPOSED RESILIENT WEDGE GATE VALVE PER WAS WV-1	⌋
PROPOSED FIRE HYDRANT PER WAS WF-1	⌋
PROPOSED 60" SEWER MAHOLE PER WAS SM-2	⌋
PROPOSED 2" BLOW OFF PER WAS WB-1, WB-4	⌋
PROPOSED STREET LIGHT	*

UTILITY CONSTRUCTION NOTES

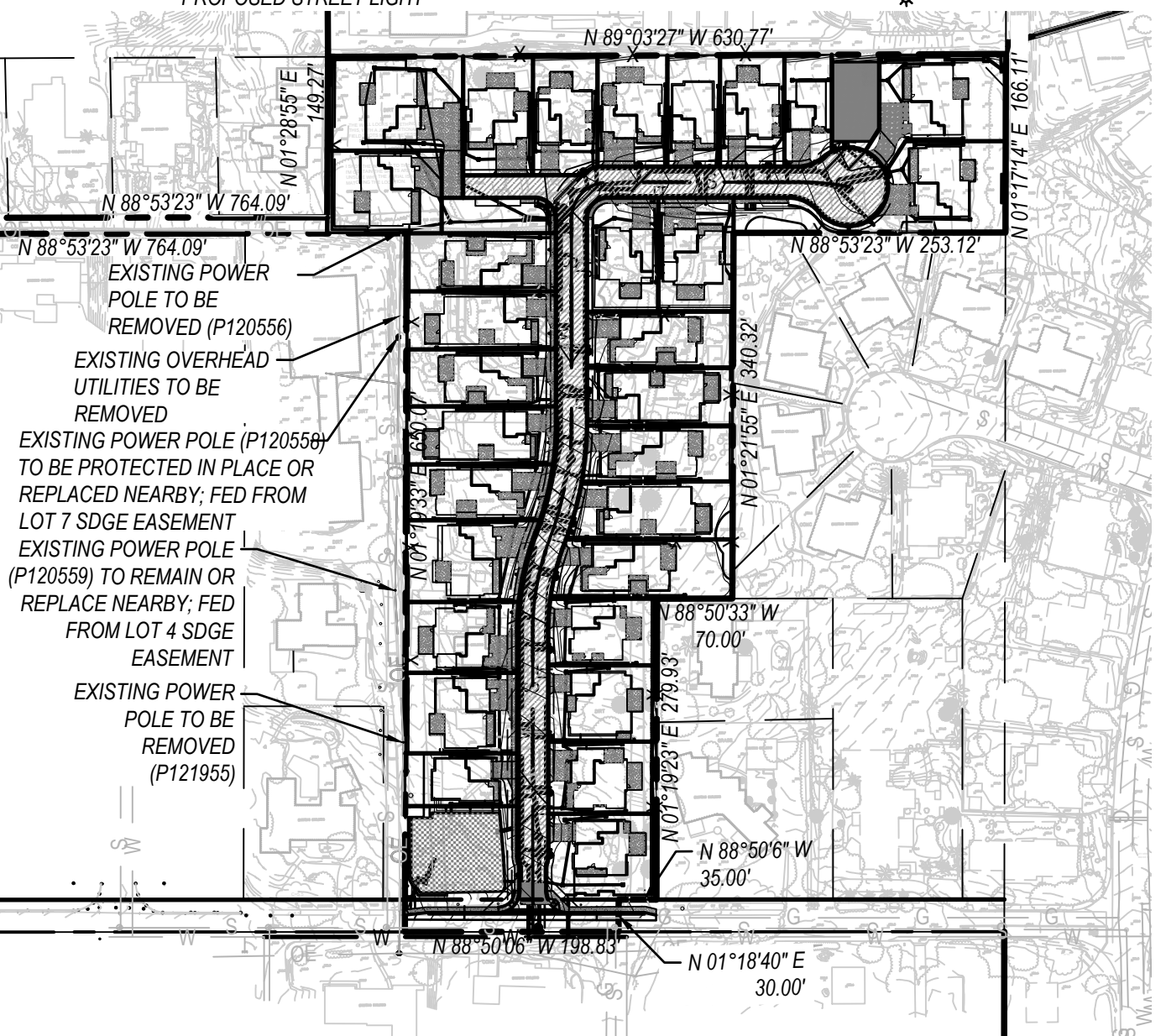
- PROPOSED PUBLIC 8" PVC WATER MAIN SEE NOTE 5 BELOW
- PROPOSED PUBLIC 8" PVC SEWER MAIN
- PROPOSED 1" DUAL DOMESTIC / FIRE WATER SERVICE PER WAS WS-09
- PROPOSED 4" PVC SEWER LATERAL PER SDRSD SS-01 WITH C.O. AT PL
- PROPOSED 1" IRRIGATION SERVICE, METER, AND BACKFLOW PER WAS WS-01, WR-01
- PROPOSED 60" SEWER MANHOLE WITH EPOXY LINER PER SDRSD SM-02
- PROPOSED FIRE HYDRANT PER WAS WF-01
- PROPOSED WM END CAP, THRUST BLOCK, AND 2" B.O. ASSEMBLY PER WAS WT-1
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED BMP OUTLET STRUCTURES SEE SHEET 10 FOR BMP DETAILS
- PROPOSED TYPE A STORM DRAIN CLEANOUT PER SDRSD D-09
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- PROPOSED CLEAN OUT PER SDRSD D-09 WITH CURB OUTLET PER SDRSD D-25
- PROPOSED WING TYPE HEADWALL WITH 4" X 4" RIP RAP ENERGY DISSIPATER, 2" THICK, 1/4 TON ROCK CLASS PER SDRSD D-34, D-40
- PROPOSED REMOVAL AND REPLACEMENT OF EXISTING 6" AC WATER MAIN FOR NEW 8" PVC WATER MAIN SEE NOTE 5 BELOW
- SEE SHEET 10 FOR BIOFILTRATION B OFFSITE DRAINAGE PLAN
- BEGIN NEW PUBLIC WATER MAIN; CONNECT TO NEW 8" PVC PUBLIC WATER MAIN WITH 8" X 8" X 8"
- PROPOSED 12" TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 6" PRIVATE STORM DRAIN SLOPE AT 1.0% MIN
- PROPOSED MODIFIED PCC CUTOFF WALL PER DETAIL SHEET 9 WITH 2" X 2" ROCK RIP RAP ENERGY DISSIPATER 1.1" THICK, NO. 2 BACKING PER SDRSD D-40

UTILITY NOTES

- NEW AND MODIFIED SEWER MANHOLES SHALL BE LINED WITH AN APPROVED EPOXY LINING SYSTEM AND SHALL BE SPARK TESTED FOR PINHOLES AND HOLIDAYS.
- EXISTING UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION.
- A GENERAL UTILITY EASEMENT SHALL BE PROVIDED FOR SEWER CLEANOUTS AND DRY UTILITY STRUCTURES.
- EXACT LOCATION OF PROPOSED ONSITE MECHANICAL AND ELECTRICAL EQUIPMENT NOT KNOWN AT THIS TIME. ALL GROUND-MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT.
- UPSIZING OF EXISTING 6" ACP WATER MAIN TO 8" PVC WATER MAIN BETWEEN OCEANIC DRIVE AND WOTAN DRIVE (~350 LF) PER HYDRAULIC ANALYSIS REPORT PREPARED BY DUDEK DATED SEPTEMBER 21, 2022.

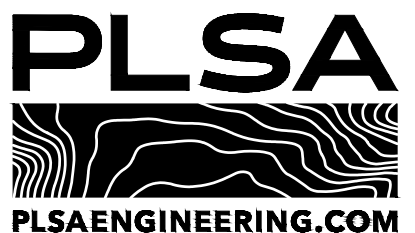
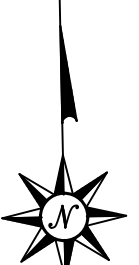
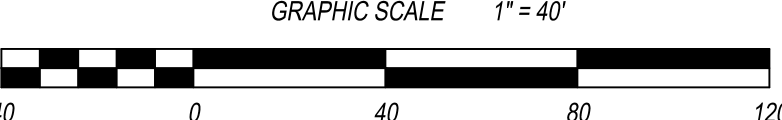
PLAN VIEW - PRELIMINARY UTILITY PLAN

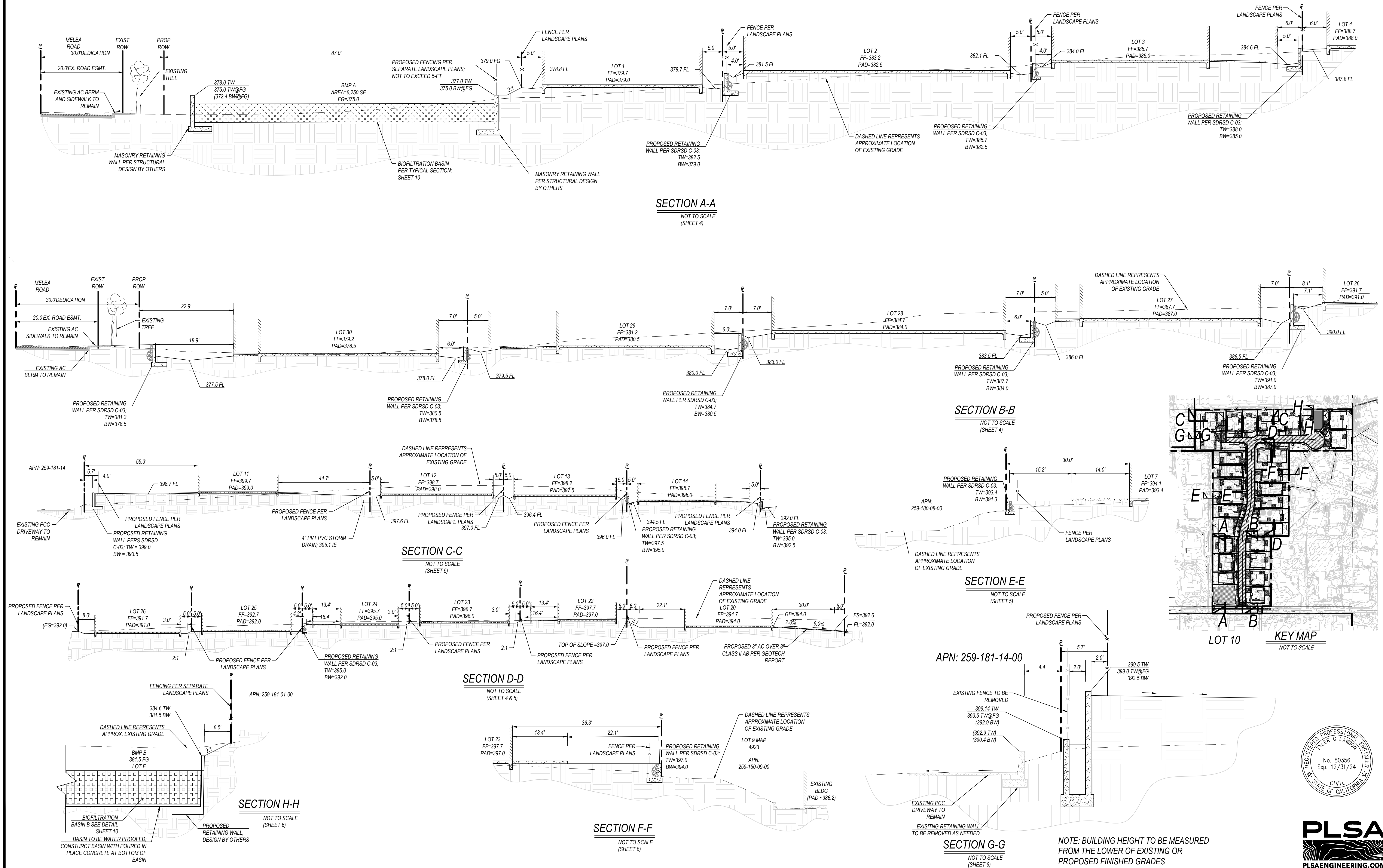
SCALE: 1" = 40' HORIZONTAL

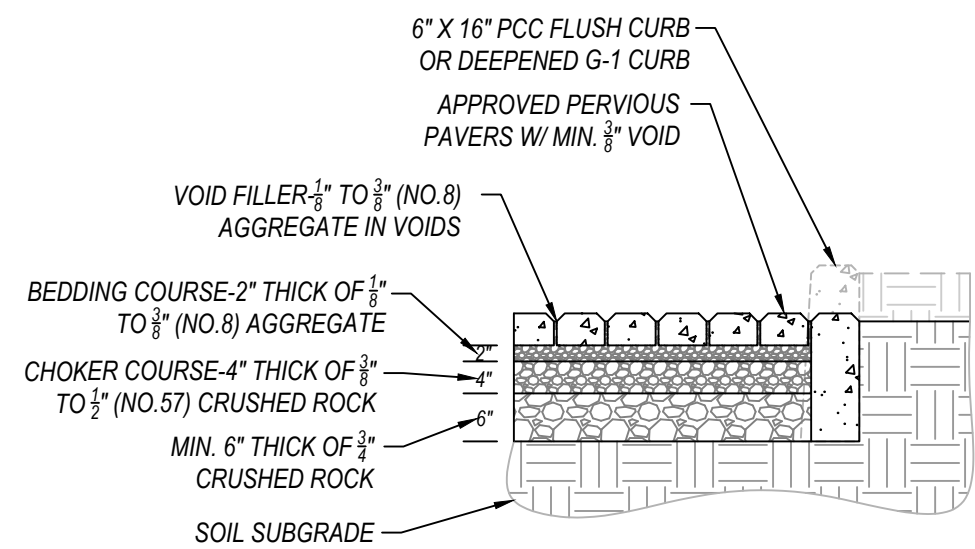
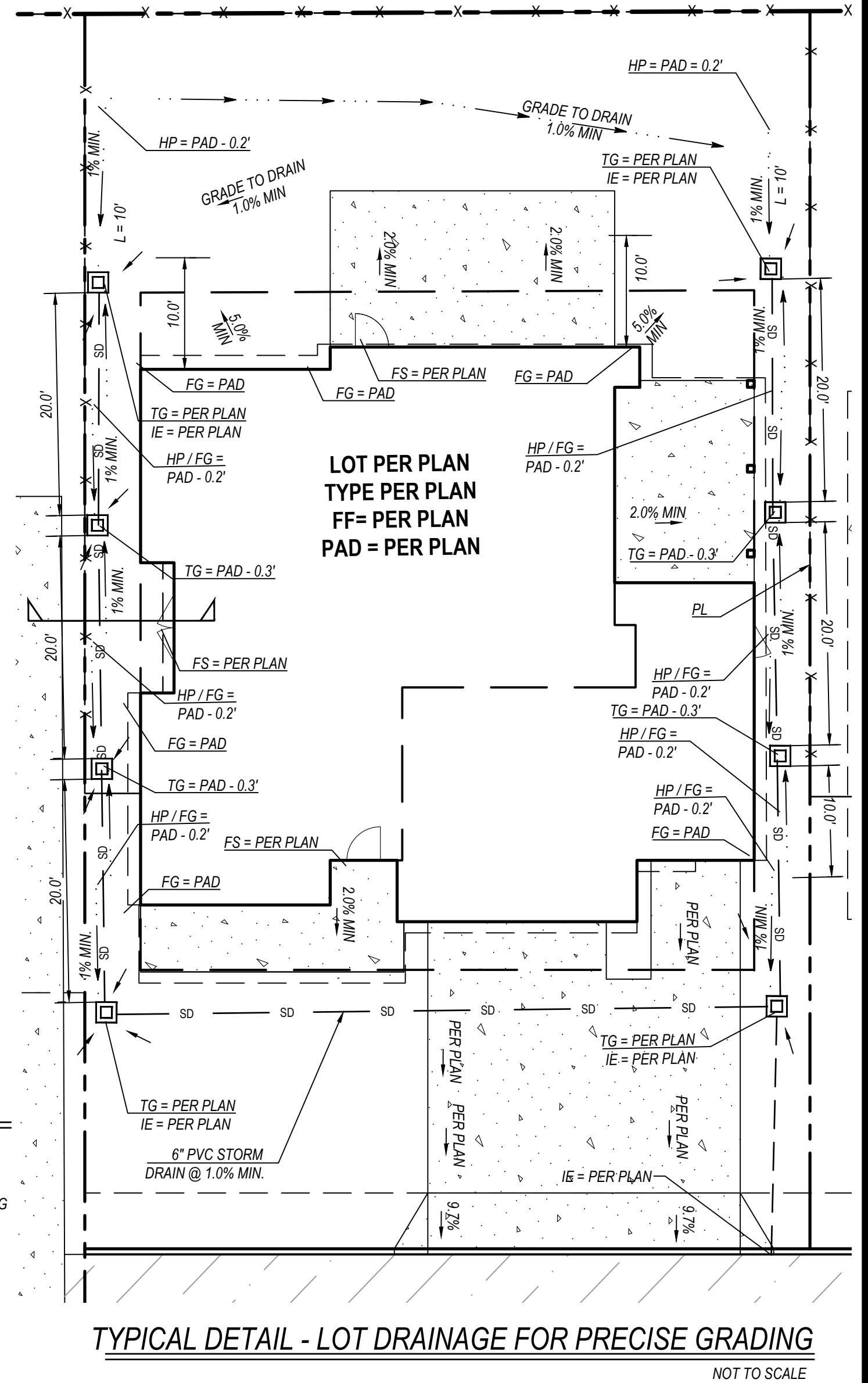
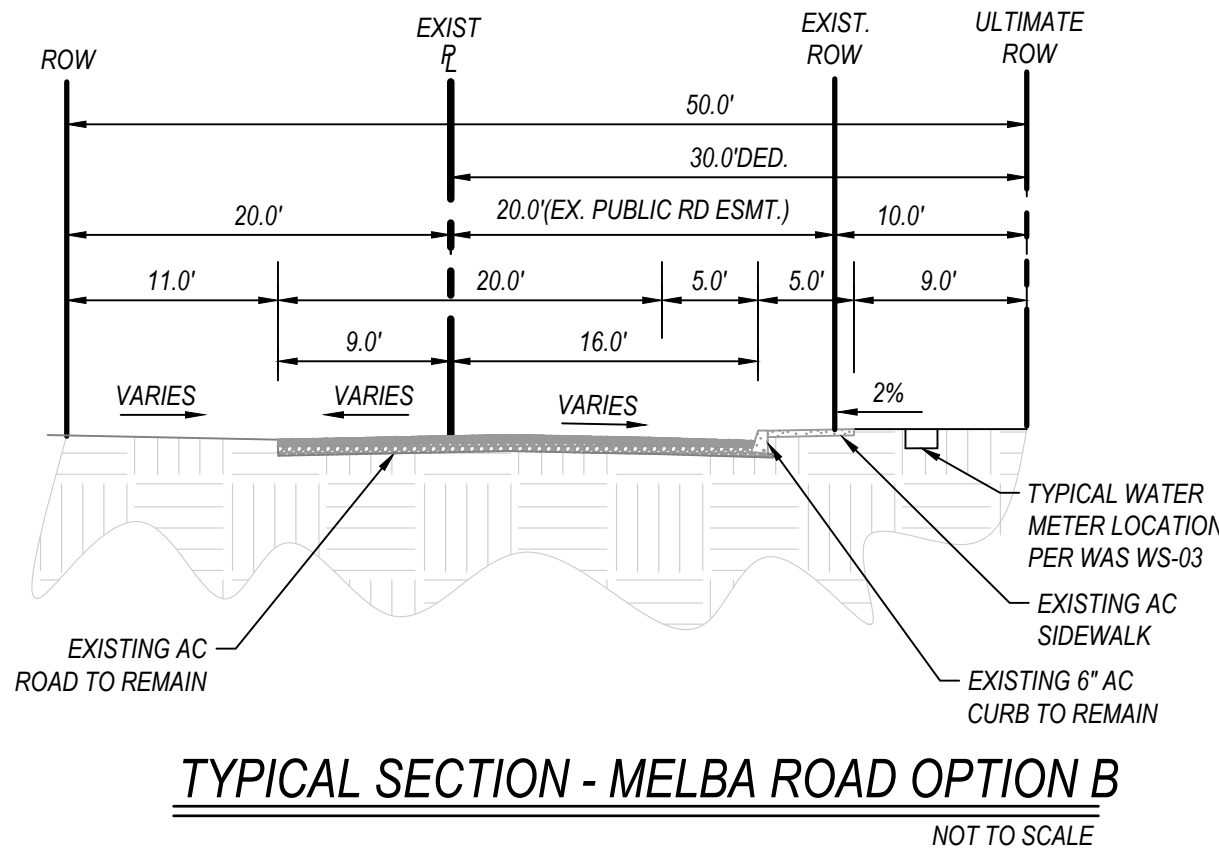
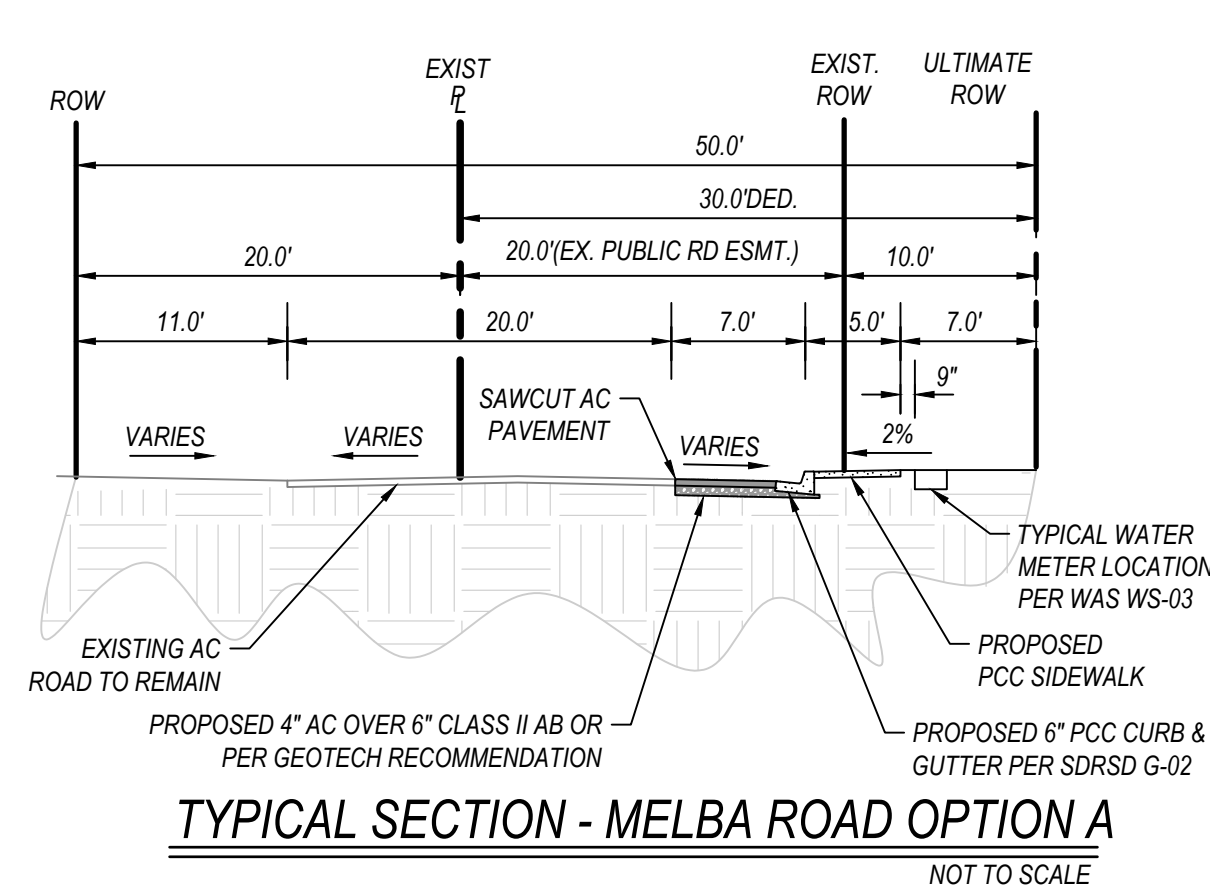
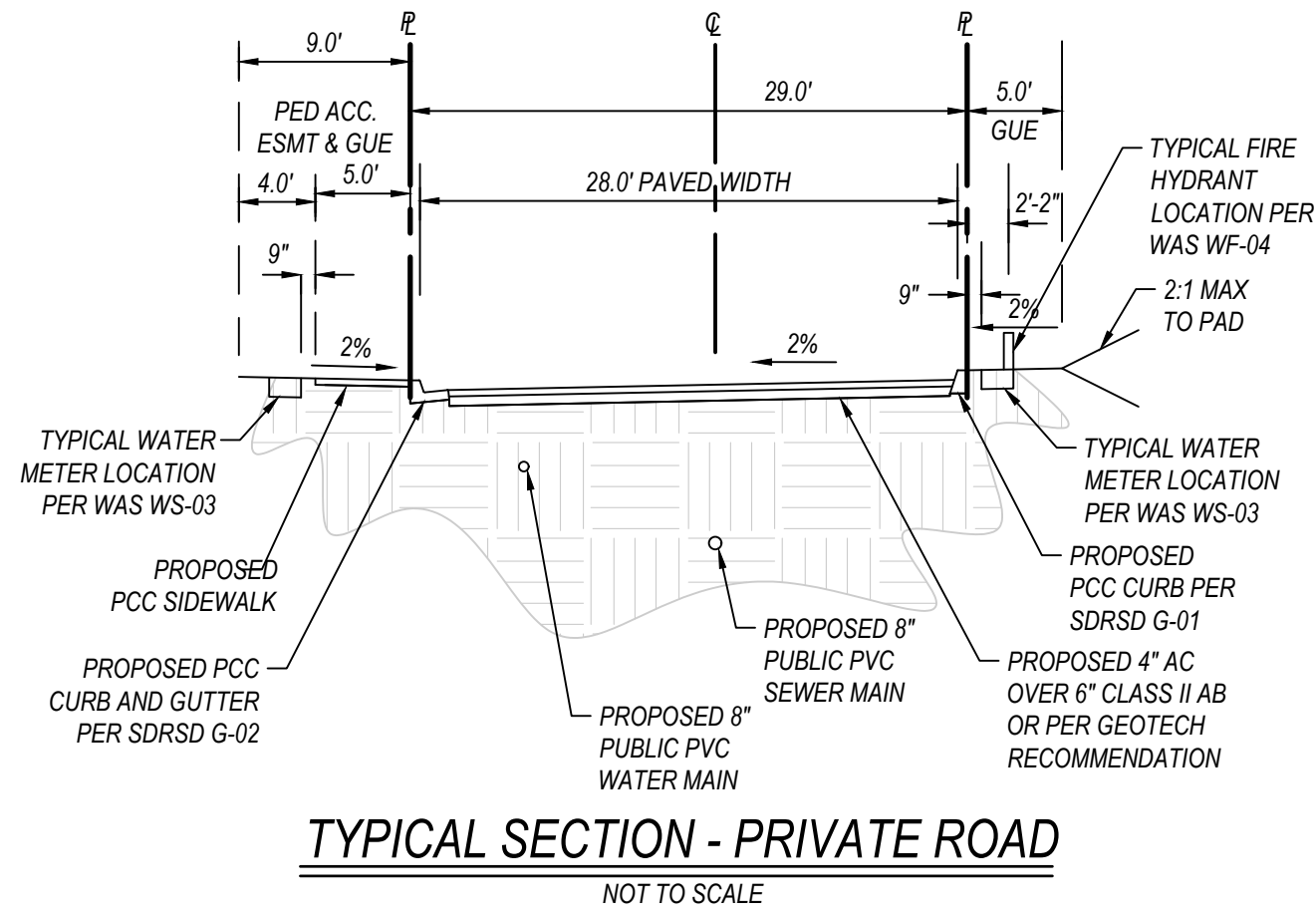


PLAN VIEW - OVERHEAD UTILITY PLAN

SCALE: 1" = 150' HORIZONTAL



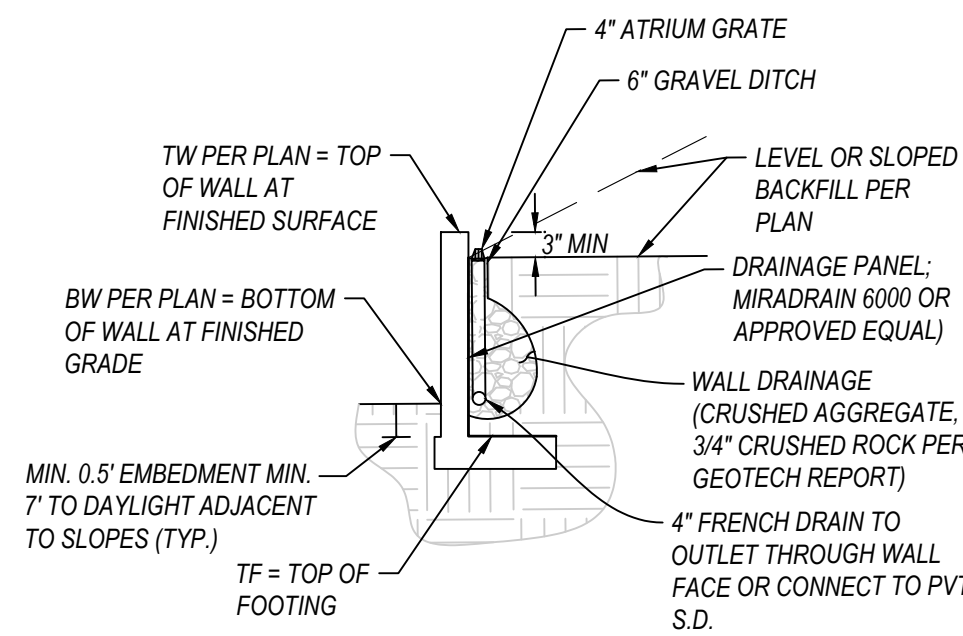




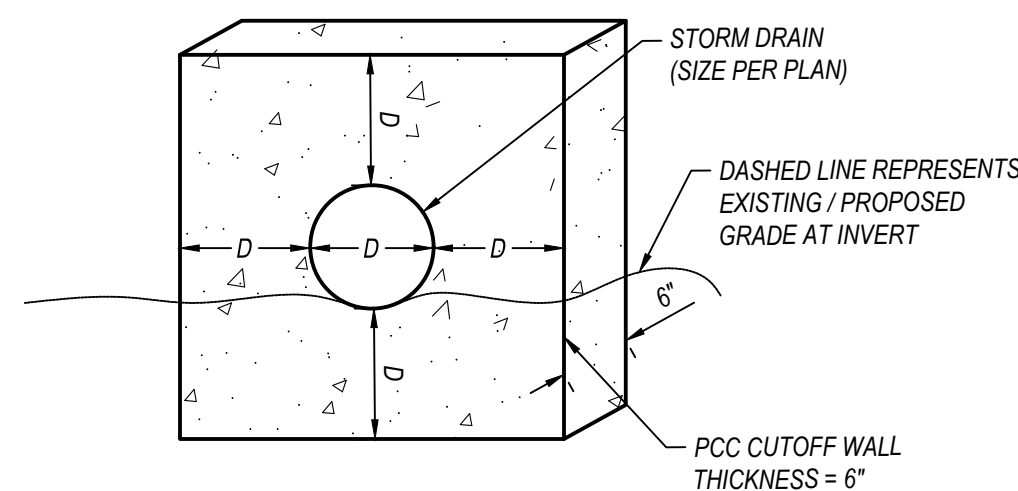
NOTE:

- ALL AGGREGATE MUST BE CLEANWASHED AND FREE OF FINES (SAND, SILT, ETC.)
- THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED
- EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
- NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
- SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL-SUBDRAIN MAY BE REQUIREI

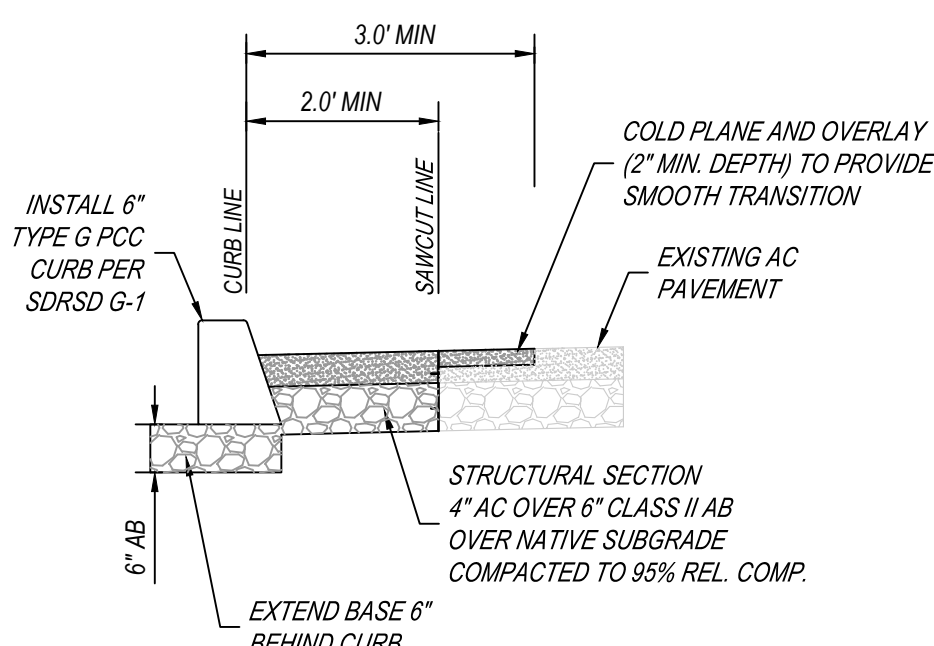
TYPICAL DETAIL - PERVIOUS PAVERS
NOT TO SCALE



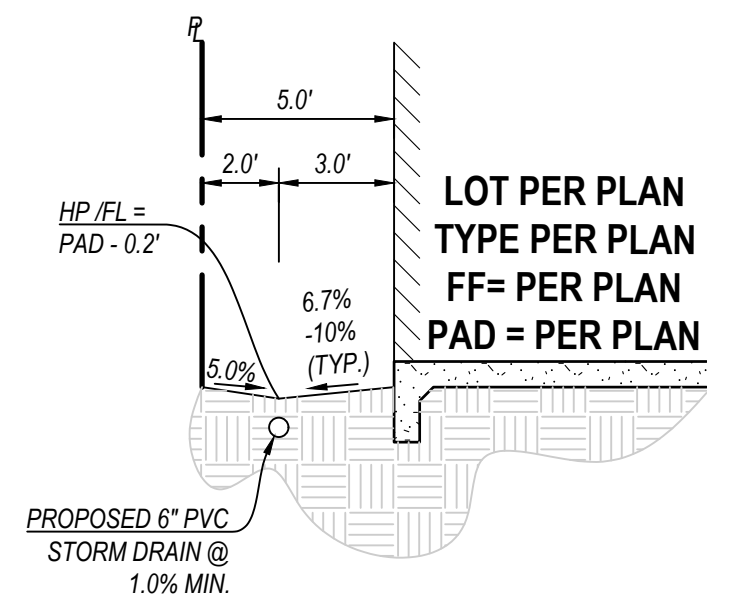
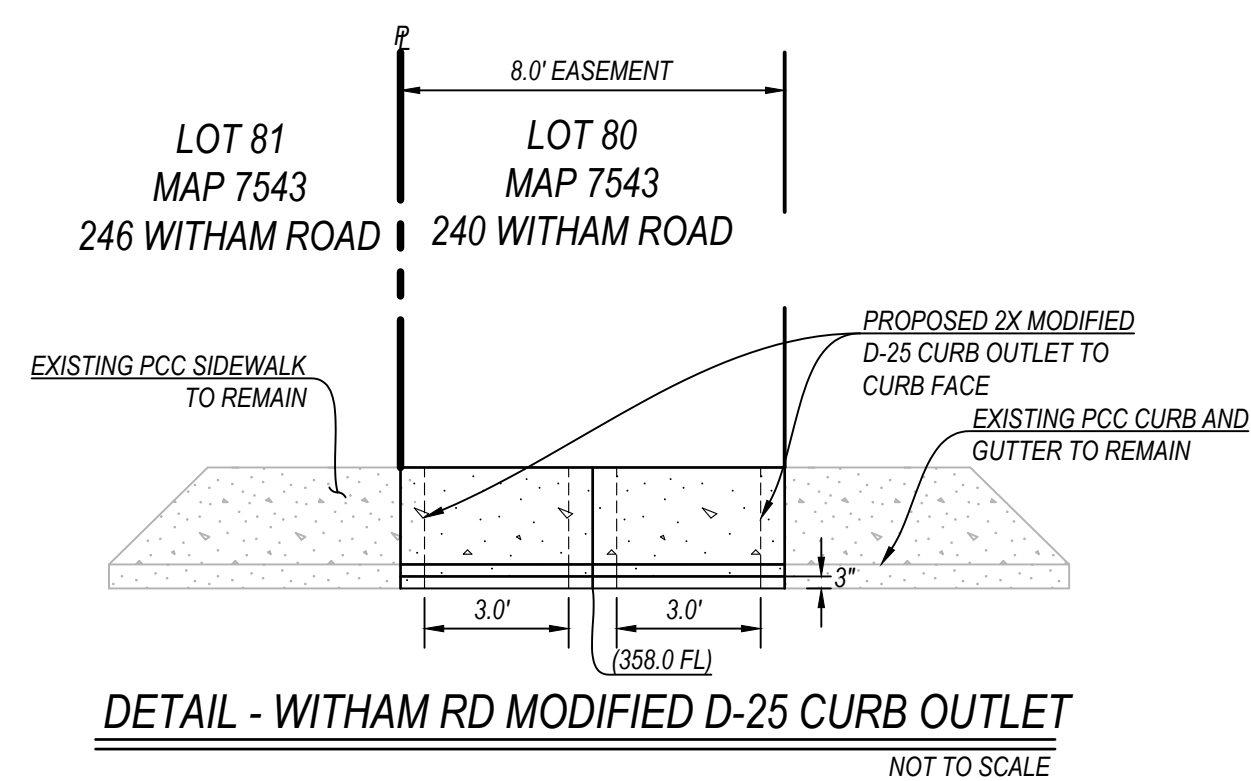
TYPICAL DETAIL - RETAINING WALL
NOT TO SCALE



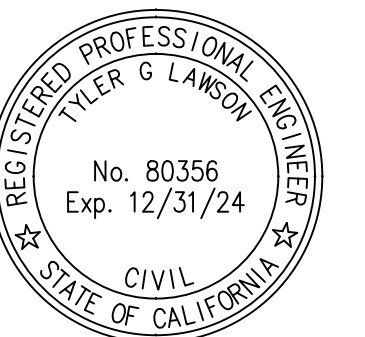
TYPICAL DETAIL - MODIFIED PCC CUTOFF WALL
NOT TO SCALE



TYPICAL DETAIL - SAWCUT AC PAVEMENT
NOT TO SCALE

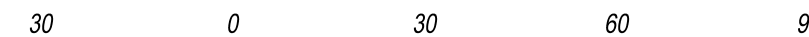


TYPICAL DETAIL - LOT SIDE YARD DRAINAGE
NOT TO SCALE





SCALE: 1" = 30' HORIZONTAL

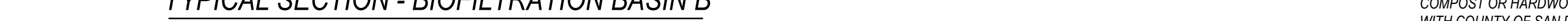


11 PROPOSED DRAINAGE EASEMENT (ON LOT 80)

① PROPOSED 18" HDPE STORM DRAIN OUTLET PIPE FROM BMP: WATER TIGHT

NOT TO SCALE

NOT TO SCALE



NOT TO SCALE



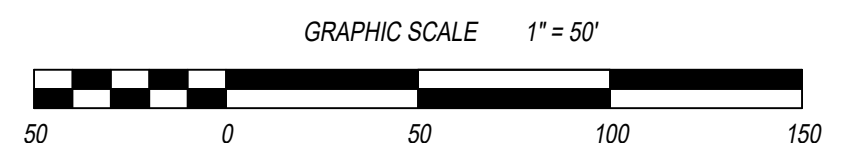
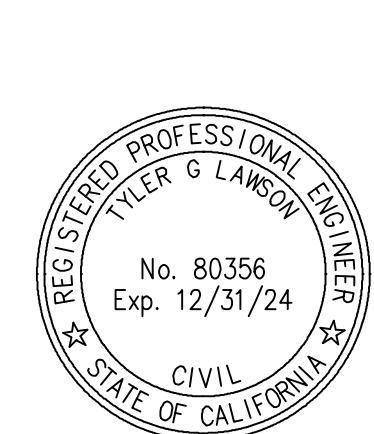
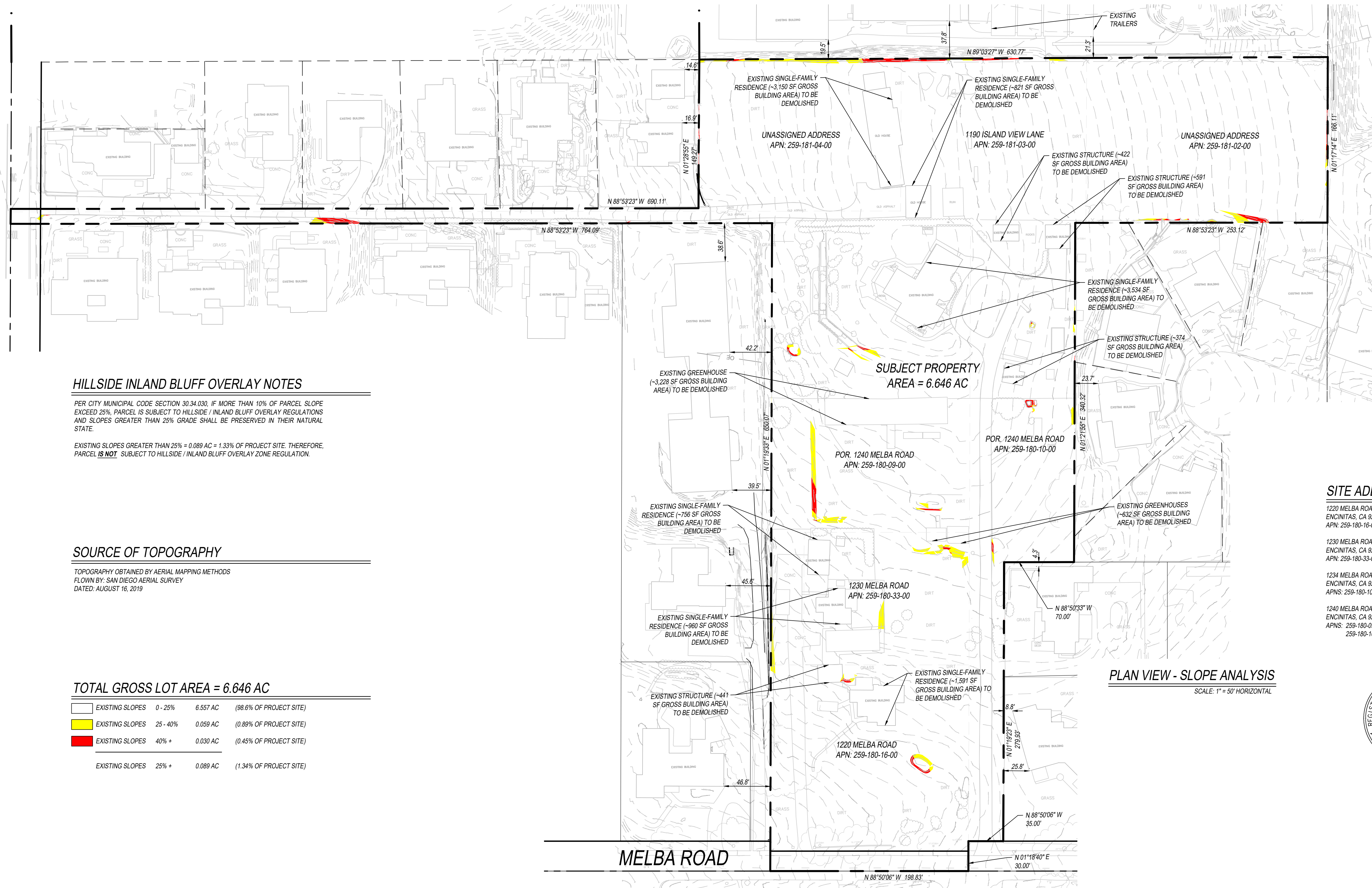
SCALE: 1" = 10'



SLOPE ANALYSIS

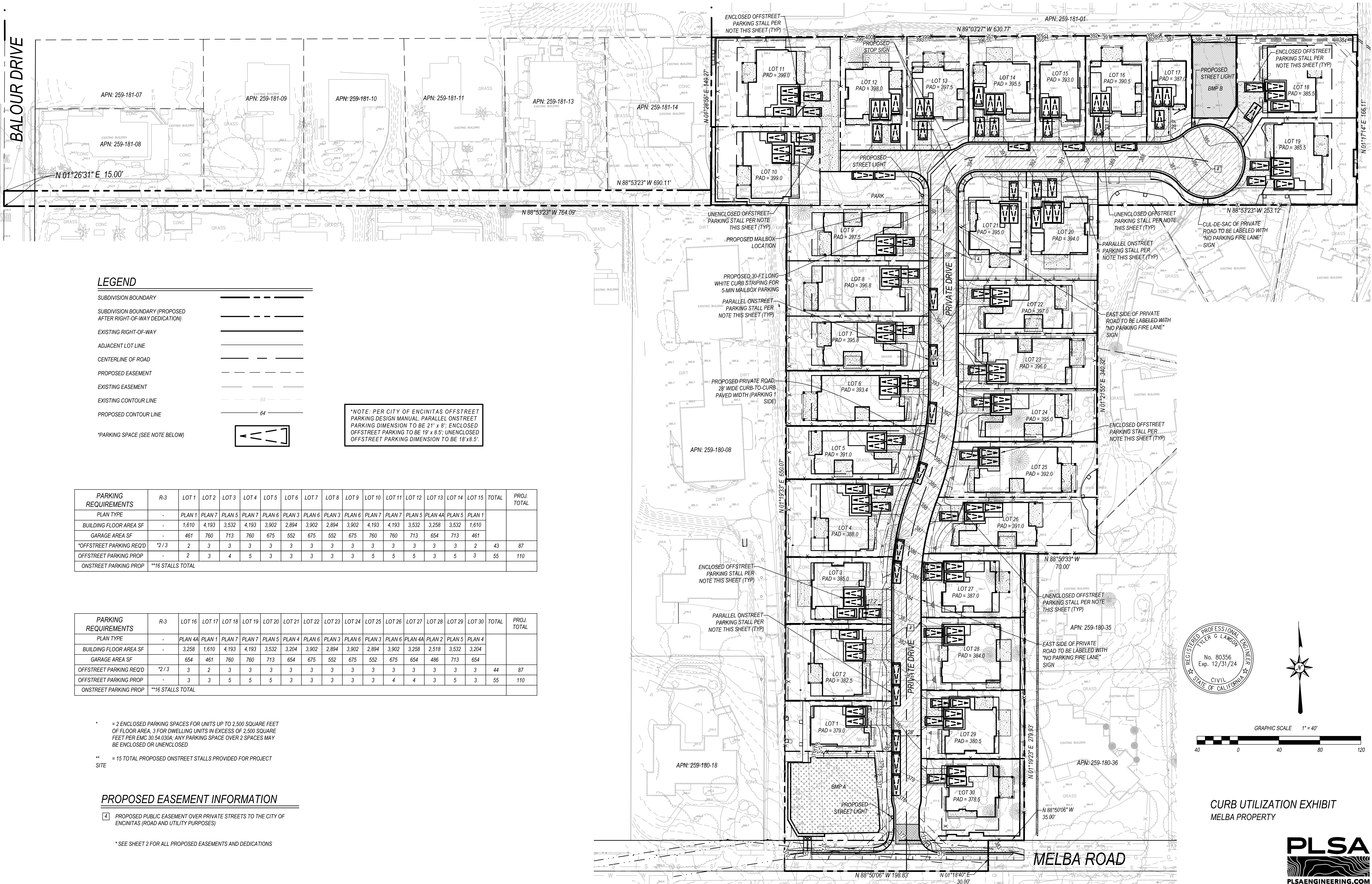
TORREY CREST

1220 - 1240 MELBA ROAD, 1190 ISLAND VIEW LANE



PASCO LARET SUITER
& ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com

BALOUR DRIVE



LEGEND

SUBDIVISION BOUNDARY	---
SUBDIVISION BOUNDARY (PROPOSED AFTER RIGHT-OF-WAY DEDICATION)	---
EXISTING RIGHT-OF-WAY	---
ADJACENT LOT LINE	---
CENTERLINE OF ROAD	---
PROPOSED EASEMENT	---
EXISTING EASEMENT	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
*PARKING SPACE (SEE NOTE BELOW)	---

*NOTE: PER CITY OF ENCINITAS OFFSTREET PARKING DESIGN MANUAL, PARALLEL ONSTREET PARKING DIMENSION TO BE 21' x 8'; ENCLOSED OFFSTREET PARKING TO BE 19' x 8.5'; UNENCLOSED OFFSTREET PARKING DIMENSION TO BE 18' x 8.5'.

PARKING REQUIREMENTS	R-3	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	TOTAL	PROJ. TOTAL
PLAN TYPE	-	PLAN 1	PLAN 1	PLAN 5	PLAN 7	PLAN 6	PLAN 3	PLAN 6	PLAN 3	PLAN 6	PLAN 7	PLAN 7	PLAN 5	PLAN 4A	PLAN 5	PLAN 1		
BUILDING FLOOR AREA SF	-	1,610	4,193	3,532	4,193	3,902	2,894	3,902	2,894	3,902	4,193	3,532	3,258	3,532	1,610			
GARAGE AREA SF	-	461	760	713	760	675	552	675	552	675	760	760	713	654	713	461		
OFFSTREET PARKING REQ'D	*2/3	2	3	3	3	3	3	3	3	3	3	3	3	3	2	43	87	
OFFSTREET PARKING PROP	-	2	3	4	5	3	3	3	3	3	5	5	5	3	5	3	55	110
ONSTREET PARKING PROP	**16 STALLS TOTAL																	

PARKING REQUIREMENTS	R-3	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20	LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27	LOT 28	LOT 29	LOT 30	TOTAL	PROJ. TOTAL
PLAN TYPE	-	PLAN 4A	PLAN 1	PLAN 7	PLAN 7	PLAN 5	PLAN 4	PLAN 6	PLAN 3	PLAN 6	PLAN 3	PLAN 6	PLAN 4A	PLAN 2	PLAN 5	PLAN 4		
BUILDING FLOOR AREA SF	-	3,258	1,610	4,193	4,193	3,532	3,204	3,902	2,894	3,902	2,894	3,902	3,258	2,518	3,532	3,204		
GARAGE AREA SF	-	654	461	760	760	713	654	675	552	675	552	675	654	466	713	654		
OFFSTREET PARKING REQ'D	*2/3	3	2	3	3	3	3	3	3	3	3	3	3	3	3	3	44	87
OFFSTREET PARKING PROP	-	3	3	5	5	5	3	3	3	3	3	3	4	4	3	5	55	110
ONSTREET PARKING PROP	**16 STALLS TOTAL																	

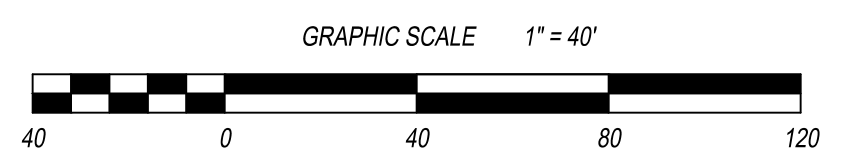
* = 2 ENCLOSED PARKING SPACES FOR UNITS UP TO 2,500 SQUARE FEET OF FLOOR AREA, 3 FOR DWELLING UNITS IN EXCESS OF 2,500 SQUARE FEET PER EMC 30.54.030A; ANY PARKING SPACE OVER 2 SPACES MAY BE ENCLOSED OR UNENCLOSED

** = 15 TOTAL PROPOSED ONSTREET STALLS PROVIDED FOR PROJECT SITE

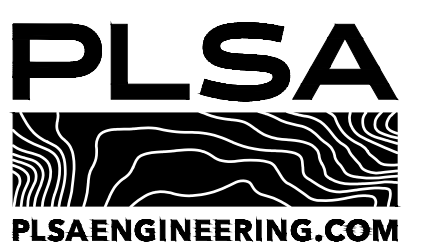
PROPOSED EASEMENT INFORMATION

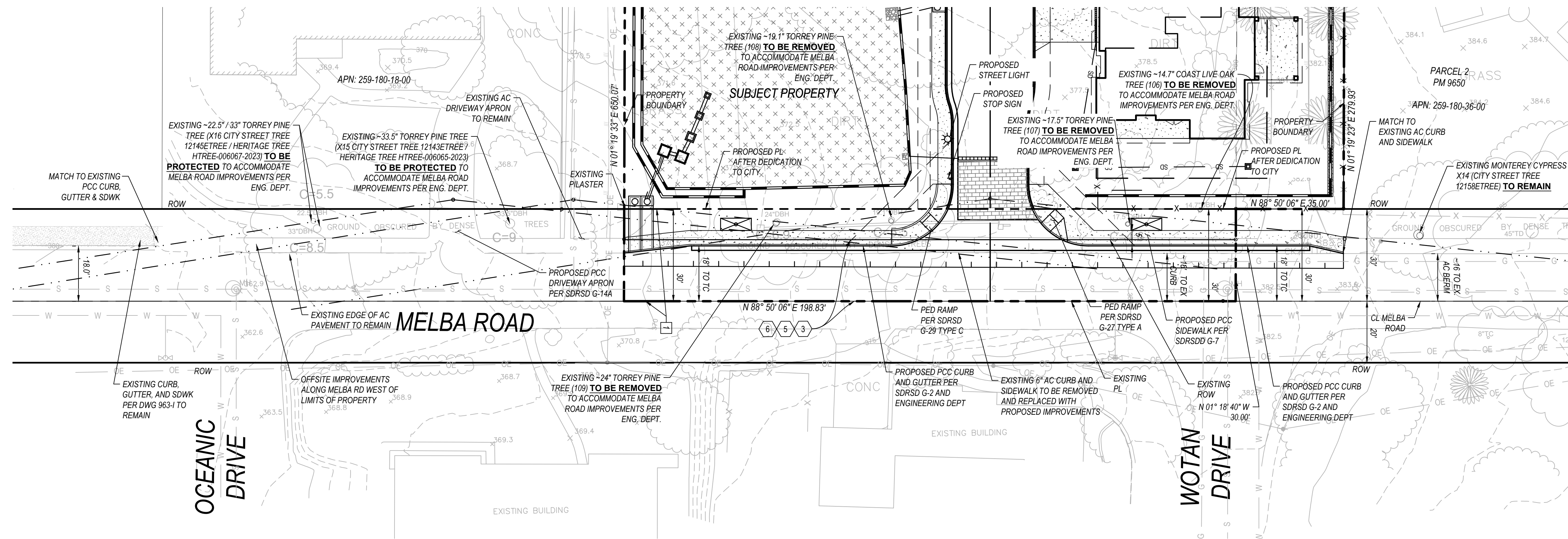
[4] PROPOSED PUBLIC EASEMENT OVER PRIVATE STREETS TO THE CITY OF ENCINITAS (ROAD AND UTILITY PURPOSES)

* SEE SHEET 2 FOR ALL PROPOSED EASEMENTS AND DEDICATIONS



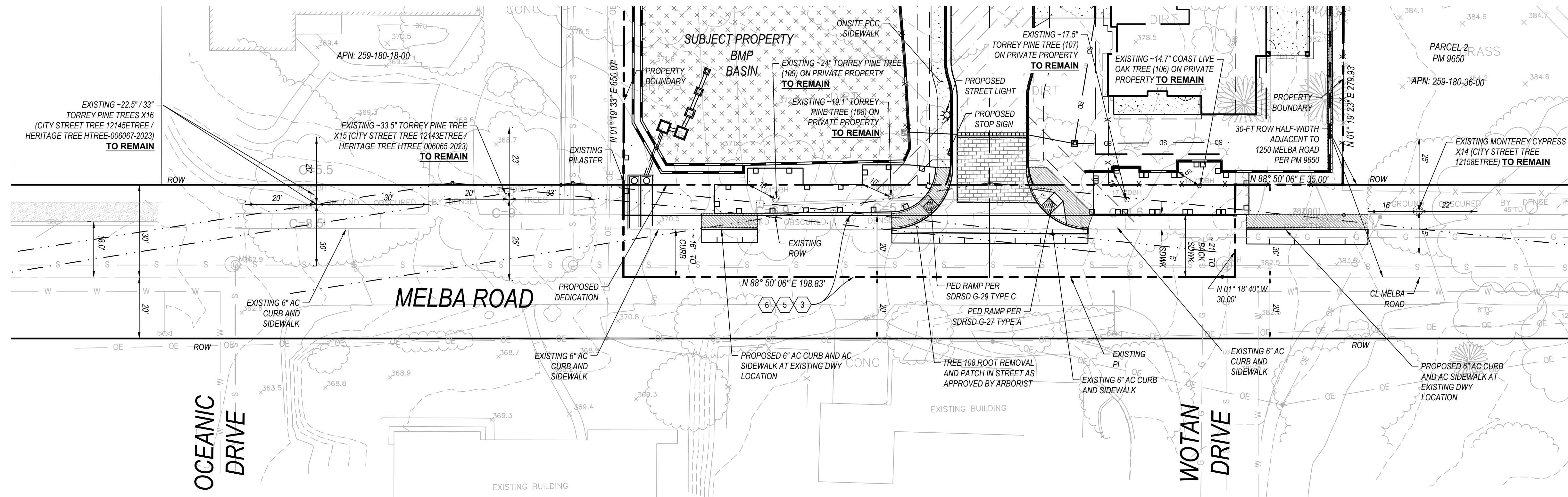
CURB UTILIZATION EXHIBIT
MELBA PROPERTY





PLAN VIEW - OPTION A (PROJECT PROPOSAL): MELBA ROAD ULTIMATE IMPROVEMENTS PER CITY COUNCIL APPROVED PUBLIC ROAD STANDARDS

SCALE: 1" = 20' HORIZONTAL



PLAN VIEW - OPTION B (ALTERNATIVE): EXISTING IMPROVEMENTS MELBA ROAD

SCALE: 1" = 20' HORIZONTAL

LEGEND

EXISTING SUBDIVISION BOUNDARY (PL)	
CENTERLINE OF ROAD	
RIGHT-OF-WAY (ROW)	
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	
ADJACENT PROPERTY LINE	
EXISTING CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	
PROPOSED PCC PAVEMENT / SIDEWALK	
PROPOSED AC PAVEMENT / SIDEWALK	
PROPOSED MASONRY RETAINING WALL	
PROPOSED 6"x16" FLUSH CURB	
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	
"DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	

PROPOSED EASEMENTS / DEDICATIONS

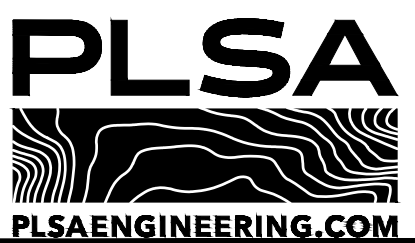
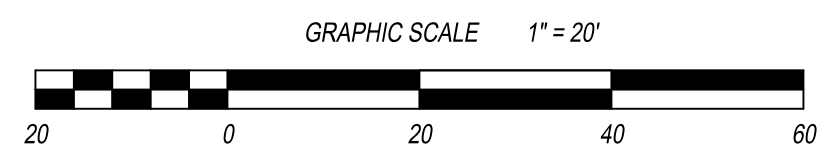
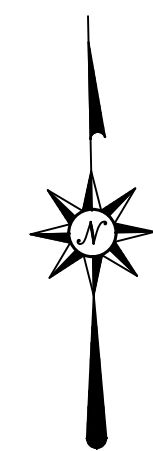
- 7 PROPOSED DEDICATION TO THE CITY OF ENCINITAS

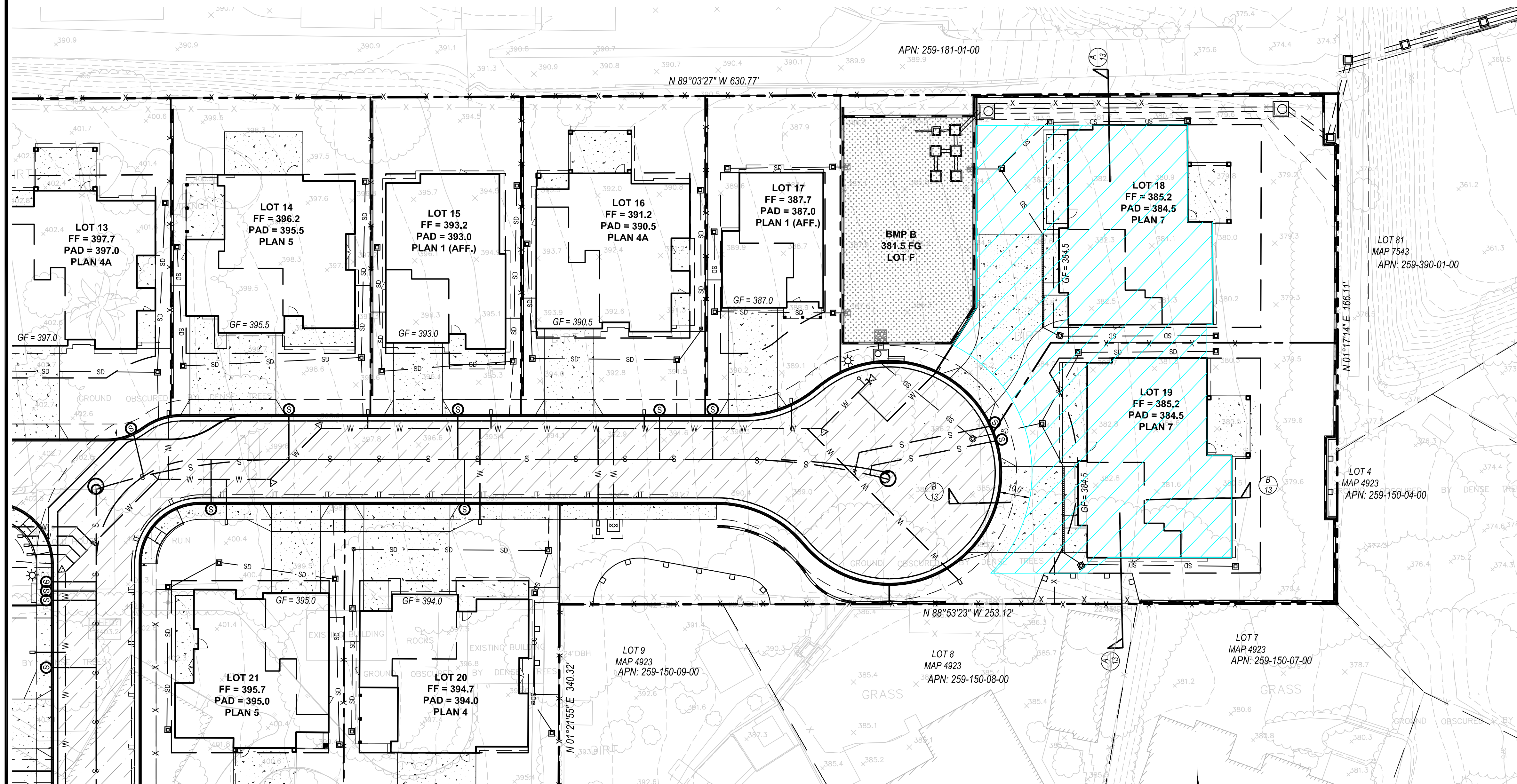
EXISTING EASEMENT INFORMATION

- 3 THE RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS GRANTED ON OCTOBER 29, 1953 IN BOOK 5030, PAGE 290 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO.
- 5 AN EASEMENT FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED AUGUST 11, 1938 IN BOOK 808, PAGE 216 OF OFFICIAL RECORDS IN FAVOR OF ANTON VAN AMERSFOOT.
- 6 AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1953 AS INSTRUMENT NO. 146900 OF OFFICIAL RECORDS, IN FAVOR OF THE COUNTY OF SAN DIEGO.

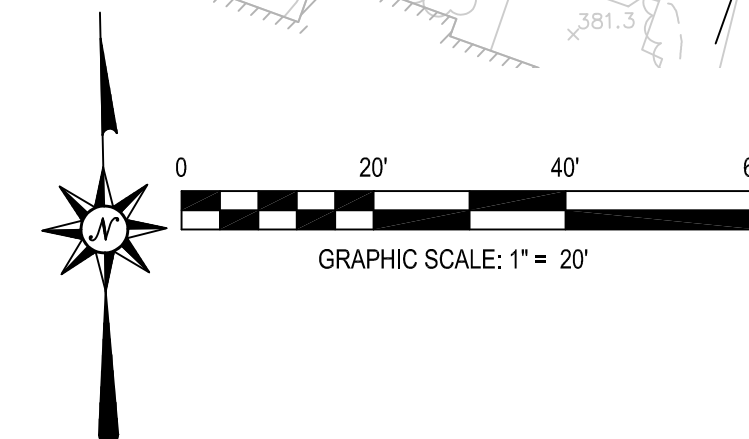
NOTES

- CITY STREET TREES AND PRIVATE TREES ALONG MELBA ROAD PROPERTY FRONTAGE TO BE REMOVED UNLESS OTHERWISE NOTED. REFER TO SEPARATE ARBORIST REPORT FOR REMOVAL AND TREE PROTECTION ZONE (TPZ) RECOMMENDATIONS.
- REFER TO SEPARATE ARBORIST REPORT FOR RECOMMENDATIONS WITHIN THE TREE PROTECTION ZONE (TPZ) FOR THE EXISTING TREES ON PRIVATE PROPERTY AND ALONG PROPERTY BOUNDARY TO BE PROTECTED IN PLACE
- DBH AS IT RELATES TO THE EXISTING TREES SURVEYED REFERS TO DIAMETER AT BREAST HEIGHT MEASURED AT 54" ABOVE THE NATURAL GRADE





PLAN VIEW - SOIL BURIAL EXHIBIT
SCALE: 1" = 20' HORIZONTAL



ENTOMBMENT NOTE

**TOP OF CONTAMINATED SOIL ENTOMBMENT SHALL BE 7" MINIMUM BELOW ADJACENT FINISHED GRADE

LEGEND:

PROJECT PROPERTY LINE	---
EXISTING RIGHT-OF-WAY / PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED CONTOUR LINE	64
EXISTING CONTOUR LINE	64
PROPOSED MASONRY RETAINING WALL	---
LIMITS OF GRIND AND OVERLAY	---
LOT NUMBER	LOT 1
PAD ELEVATION	PAD = 200.0
FINISHED FLOOR ELEVATION	FF = 200.0
SOIL BURIAL AREA	---
PROPOSED BIOFILTRATION BASIN	---

SOIL BURIAL NOTES:

NOTE: THE ACTUAL BURIAL LIMITS MUST BE FIELD SURVEYED, AND A COVENANT RECORDED PRIOR TO ROUGH GRADE APPROVAL

REFER TO REMEDIAL ACTION PLAN TITLED "SOIL REMEDIATION PLAN 1190 ISLAND VIEW LANE AND 1220-1240 MELBA ROAD ENCINITAS, CALIFORNIA"
PREPARED BY: GEOCON INC.
COUNTY DEH CASE # DEH2021-LSAM-000674
DATED: OCTOBER 26, 2021

SOIL BURIAL CALCULATIONS (OPT 1)

**APPROX. VOLUME OF BURIAL ONSITE	1,800 CY
POTENTIAL SOIL BURIAL AREA	10,035 SF
AVERAGE DEPTH OF BURIAL	4.85 FT
LOWEST UTILITY INVERT ELEVATION	-
LOWEST DEPTH OF EXCAVATION	-
**EXACT VOLUME TO BE DETERMINED DURING CONSTRUCTION	

SOIL BURIAL CALCULATIONS (OPT 2)

**APPROX. VOLUME OF BURIAL ONSITE	4,000 CY
POTENTIAL SOIL BURIAL AREA	10,035 SF
AVERAGE DEPTH OF BURIAL	10.75 FT
LOWEST UTILITY INVERT ELEVATION	-
LOWEST DEPTH OF EXCAVATION	-
**EXACT VOLUME TO BE DETERMINED DURING CONSTRUCTION	

