

**K-1**

**Service  
Availability  
Letters**

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**K-1A**

**Service  
Availability  
Letter:  
Encinitas Fire  
Department**

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## PROJECT FACILITY AVAILABILITY FORM

FIRE

*Please type or use pen*

Torrey Pacific Corporation (760) 942-3256

Owner's name Phone

1106 Second St #115

Owner's mailing address Street

Encinitas CA 92024

City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

AMT \$ \_\_\_\_\_ DATE \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

## SECTION 1. PROJECT DESCRIPTION

## TO BE COMPLETED BY APPLICANT

- A. ☒ Major Subdivision (TM) ☐ Specific Plan or Specific Plan Amendment  
☐ Minor Subdivision (TPM) ☐ Boundary Adjustment  
☐ Certificate of Compliance, purpose: \_\_\_\_\_  
☐ Major Use Permit (MUP), purpose: \_\_\_\_\_  
☐ Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone  
☐ Time Extension... Case No. \_\_\_\_\_  
☐ Expired Map..... Case No. \_\_\_\_\_  
☐ Other \_\_\_\_\_

Assessor's Parcel Number(s)

(Add extra if necessary)

2	5	9	1	8	0	0	9
2	5	9	1	8	0	1	0
2	5	9	1	8	0	1	6
2	5	9	1	8	0	3	3

Thomas Bros. Page 1 8 1 Grid 02, 03, 04

1220-1240 Melba Rd and

Project address 1190 Island View Ln

Street

C. Total Project acreage 6.646 Total lots 32 Smallest proposed lot 0.1 acre Old Encinitas 92024  
 (2 private street lots, 30 residential lots) Community Planning Area/Subregion Zip

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's signature: [Signature] Date: 7/27/2023Address: 1106 Second St #115 Encinitas, CA 92024 Phone: (760) 942-3256

(On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below)

## SECTION 2. FACILITY AVAILABILITY

## TO BE COMPLETED BY DISTRICT

District Name: Encinitas Fire DepartmentIndicate the location and distance of the primary fire station that will serve the proposed project: Station #5 540 Baour0.5 miles/2 minutes away.

- A. ☒ Project is in the District and eligible for service.  
☐ Project is not in District but it is within its Sphere of Influence boundary, owner must apply for annexation.  
☐ Project is not in the District and not within the District's Sphere of Influence.  
☐ Project is not located entirely within the District and a potential boundary issue exists with the \_\_\_\_\_ District.  
 B. ☐ Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is \_\_\_\_\_ minutes.  
☐ Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.  
 C. ☐ District conditions are attached. The number of sheets attached: \_\_\_\_\_.  
☒ District will submit conditions at a later date.

## SECTION 3. FUELBREAK REQUIREMENTS

**Note:** The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by the Department of Planning and Land Use.

- ☐ Within the proposed project \_\_\_\_\_ feet of clearing will be required around all structures.  
☐ The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

Date: 8/8/2023 Expiration date: 8/8/2024 (One year from date of issuance unless district indicates otherwise)
Jordan Villagomez  
 Authorized signature

Jordan Villagomez Sr. Deputy Fire Marshal  
 Print name and title

760-633-2820  
 Phone

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to: Zoning Counter at the Planning and

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**K-1B**

**Service  
Availability  
Letter:  
Cardiff  
Sanitary  
District**

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## PROJECT FACILITY AVAILABILITY FORM- City of Encinitas

SEWER

S

Please type or use pen

Torrey Pacific Corporation (760) 942-3256

Owner's Name Phone

1106 Second St #115

Owner's Mailing Address Street

Encinitas CA 92024

City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

DATE \_\_\_\_\_ AMT \$ \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

## SECTION 1. PROJECT DESCRIPTION

## TO BE COMPLETED BY APPLICANT

- A. ☒ Major Subdivision (TM) ☐ Certificate of Compliance: \_\_\_\_\_  
☐ Minor Subdivision (TPM) ☐ Boundary Adjustment  
☐ Specific Plan or Specific Plan Amendment  
☐ Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone  
☐ Major Use Permit (MUP), purpose: \_\_\_\_\_  
☐ Time Extension... Case No. \_\_\_\_\_  
☐ Expired Map... Case No. \_\_\_\_\_  
☐ Other \_\_\_\_\_

Assessor's Parcel Number(s)

(Add extra if necessary)

2	5	9	1	8	0	0	9
2	5	9	1	8	0	1	0
2	5	9	1	8	0	1	6
2	5	9	1	8	0	3	3

Thomas Bros. Page 1 8 1 Grid 02, 03, 04

1220-1240 Melba Rd and

Project address 1190 Island View Ln

(2 private street lots, 30 residential lots)

Old Encinitas 92024

Comm. Advisory Board Area

- B. ☒ Residential ... Total number of dwelling units 30  
☐ Commercial ... Gross floor area \_\_\_\_\_  
☐ Industrial ... Gross floor area \_\_\_\_\_  
☐ Other ... Gross floor area \_\_\_\_\_

C. Total Project acreage 6.646 Total number of lots 32

- D. Is the project proposing its own wastewater treatment plant? ☐ Yes ☒ No  
 Is the project proposing the use of reclaimed water? ☐ Yes ☒ No

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required easements to extend service to the project.

OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: [Signature] Date: 7/27/2023

Address: 1106 Second St #115 Encinitas, CA 92024 Phone: (760) 942-3256

(On completion of above, present to the sewer district to establish facility availability. Section 2 below)

## SECTION 2. FACILITY AVAILABILITY

## TO BE COMPLETED BY DISTRICT

District name CARDIFF SANITARY DISTRICT Service area OLD ENCINITAS

- A. ☒ Project is in the district.  
☐ Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.  
☐ Project is not in the district and is not within its Sphere of Influence boundary.  
☐ The project is not located entirely within the district and a potential boundary issue exists with the \_\_\_\_\_ District.

- B. ☒ Facilities to serve the project ☒ ARE ☐ ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached: \_\_\_\_\_  
☐ Project will not be served for the following reason(s): \_\_\_\_\_

- C. ☐ District conditions are attached. Number of sheets attached: \_\_\_\_\_  
☐ District has specific water reclamation conditions which are attached. Number of sheets attached: \_\_\_\_\_  
☒ District will submit conditions at a later date.

- D. ☒ How far will the pipeline(s) have to be extended to serve the project? TO BE DETERMINED

Date: 7/28/23 Expiration date: 7/28/24 (One year from date of issuance unless district indicates otherwise)Authorized signature: [Signature] Print name: LAVRIE WINTERPrint title: ENGINEERING SPECIALIST Phone: 760-633-2779

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF FACILITIES OR SERVICE BY THE DISTRICT. On completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Planning &

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**K-1C**

**Service  
Availability  
Letter:  
San Dieguito  
Water District**

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## PROJECT FACILITY AVAILABILITY FORM - City of Encinitas

WATER

*Please type or use pen*

Torrey Pacific Corporation (760) 942-3256

Owner's Name Phone

1106 Second St #115

Owner's Mailing Address Street

Encinitas CA 92024

City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

DATE \_\_\_\_\_

AMT \$ \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY



## SECTION 1. PROJECT DESCRIPTION

## TO BE COMPLETED BY APPLICANT

- A. ☒ Major Subdivision (TM) ☐ Specific Plan or Specific Plan Amendment  
☐ Minor Subdivision (TPM) ☐ Certificate of Compliance: \_\_\_\_\_  
☐ Boundary Adjustment  
☐ Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone.  
☐ Major Use Permit (MUP), purpose: \_\_\_\_\_  
☐ Time Extension... Case No. \_\_\_\_\_  
☐ Expired Map... Case No. \_\_\_\_\_  
☐ Other \_\_\_\_\_

Assessor's Parcel Number(s)

(Add extra if necessary)

2	5	9
2	5	9
2	5	9
2	5	9

1	8	0
1	8	0
1	8	0
1	8	0

0	9
1	0
1	6
3	3

2 5 9 1 8 0 0 9 02, 03, 04

Thomas Bros. Page \_\_\_\_\_ Grid \_\_\_\_\_

1220-1240 Melba Rd and 1190 Island View Ln

- B. ☒ Residential ..... Total number of dwelling units 30  
☐ Commercial ..... Gross floor area \_\_\_\_\_  
☐ Industrial ..... Gross floor area \_\_\_\_\_  
☐ Other ..... Gross floor area \_\_\_\_\_

- C. Total Project acreage 6.646 Total number of lots 32  
 (2 private street lots, 30 residential lots)

- D. Is the project proposing the use of groundwater? ☐ Yes ☒ No  
 Is the project proposing the use of reclaimed water? ☐ Yes ☒ No

Project address Street 92024  
 Old Encinitas  
 Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and  
 COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: \_\_\_\_\_ Date: 7/27/2023

Address: 1106 Second St #115 Encinitas, CA 92024 Phone: (760) 942-3256

(On completion of above, present to the water district to establish facility availability, Section 2 below)

## SECTION 2. FACILITY AVAILABILITY

## TO BE COMPLETED BY DISTRICT

District name San Dieguito Water District Service area Encinitas, CA

- A. ☒ Project is in the district.  
☐ Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.  
☐ Project is not in the district and is not within its Sphere of Influence boundary.  
☐ The project is not located entirely within the district and a potential boundary issue exists with the \_\_\_\_\_ District.
- B. ☒ Facilities to serve the project ☒ ARE ☐ ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached \_\_\_\_\_. (Number of sheets)  
☐ Project will not be served for the following reason(s): \_\_\_\_\_
- C. ☐ District conditions are attached. Number of sheets attached: \_\_\_\_\_  
☐ District has specific water reclamation conditions which are attached. Number of sheets attached: \_\_\_\_\_  
☒ District will submit conditions at a later date.
- D. ☐ How far will the pipeline(s) have to be extended to serve the project? \_\_\_\_\_

Date: 7/31/2023 Expiration date: 7/31/2024 (One year from date of issuance unless district indicates otherwise.)

Authorized signature: \_\_\_\_\_ Print name: Christina Olson

Print title: Senior Engineer Phone: (760) 633-2792

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT. On completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Planning & Community Development Dept., 505 S. Vulcan Ave., Encinitas, CA 92024

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**K-1D**

**Service  
Availability**

**Letter:**

**Encinitas Union  
School District**

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## PROJECT FACILITY AVAILABILITY FORM - City of Encinitas

SCHOOL

Sc

*Please type or use pen*

(Two forms are needed if project is to be served by separate school districts)

Torrey Pacific Corporation (760) 942-3256  
Owner's Name Phone1106 Second St #115  
Owner's Mailing Address StreetEncinitas CA 92024  
City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

DATE \_\_\_\_\_

ELEMENTARY \_\_\_\_\_

HIGH SCHOOL \_\_\_\_\_

UNIFIED \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

## SECTION 1. PROJECT DESCRIPTION

## TO BE COMPLETED BY APPLICANT

## A. LEGISLATIVE ACT

- ☐ Rezone from \_\_\_\_\_ zone density/intensity to \_\_\_\_\_ zone density/intensity.  
☐ General Plan Amendment  
☐ Specific Plan  
☐ Specific Plan Amendment

## B. DEVELOPMENT PROJECT

- ☒ Major Subdivision (TM)  
☐ Minor Subdivision (TPM)  
☐ Boundary Adjustment  
☐ Major Use Permit (MUP), purpose: \_\_\_\_\_  
☐ Time Extension... Case No. \_\_\_\_\_  
☐ Expired Map... Case No. \_\_\_\_\_  
☐ Other \_\_\_\_\_

- C. ☒ Residential ..... Total number of dwelling units 30  
☐ Commercial ..... Gross floor area \_\_\_\_\_  
☐ Industrial ..... Gross floor area \_\_\_\_\_  
☐ Other ..... Gross floor area \_\_\_\_\_

D. Total Project acreage 6.646 Total number of lots 32 (2 private street lots, 30 residential lots)Applicant's Signature Beth Hilton Date 7/27/2023Address 1106 Second St #115 Encinitas, CA 92024 Phone (760) 942-3256

(On completion of above, present to the school district to complete Section 2 below)

## Assessor's Parcel Number(s)

(Add extra if necessary)

2	5	9
2	5	9
2	5	9
2	5	9

1	8	0
1	8	0
1	8	0
1	8	0

0	9
1	0
1	6
3	3

2 5 9 1 8 1 02, 03, 04

Thomas Bros. Page Grid  
1220-1240 Melba Rd andProject address 1190 Island View Ln  
Street

Old Encinitas 92024

Community Planning Area/Subregion Zip

## SECTION 2. FACILITY AVAILABILITY

## TO BE COMPLETED BY DISTRICT

District Name: Encinitas Union School District

If not in a unified district, which elementary or high school district must also fill out a form?

Indicate the location and distance of proposed schools of attendance. Elementary: Ocean Knoll miles: 0.50  
Junior/Middle: \_\_\_\_\_ miles: \_\_\_\_\_ High school: \_\_\_\_\_ miles: \_\_\_\_\_

- ☒ This project will result in the overcrowding of the ☒ elementary ☐ junior/middle ☐ high school.  
 (check all that apply)  
☒ Fees will be levied either in accordance with Government Code Section 53080 or Section 65970 prior to the issuance of building permits.  
☐ Project is located entirely within the district and is eligible for service.  
☐ The project is not located entirely within the district and a potential boundary issue may exist with the \_\_\_\_\_ school district.

## FOR LEGISLATIVE ACTS (Rezones, General Plan Amendments, Specific Plans) ONLY:

- ☐ Pursuant to County Ordinance and the Public Facility Element of the General Plan, facilities to serve the project have been committed through a binding agreement satisfactory to the school district.  
☐ A binding agreement has not yet been signed, but one will be required prior to legislative approval.  
☐ No binding agreement is necessary.

Authorized signature: Beth Hilton Print name: Beth HiltonPrint title: Director of Fiscal Services Phone: 760-944-4300 Ext. 1169

On Completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Planning & Community Development Department, 505 S. Vulcan Ave., Encinitas, CA 92024

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**K-1E**

**Service  
Availability  
Letter:  
San Dieguito  
Union School  
District**

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## PROJECT FACILITY AVAILABILITY FORM - City of Encinitas

SCHOOL

**Please type or use pen**

(Two forms are needed if project is to be served by separate school districts)

Torrey Pacific Corporation (760) 942-3256  
 Owner's Name Phone

1106 Second St #115  
 Owner's Mailing Address Street

Encinitas CA 92024  
 City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

DATE \_\_\_\_\_

ELEMENTARY \_\_\_\_\_

HIGH SCHOOL \_\_\_\_\_

UNIFIED \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

Sc

## SECTION 1. PROJECT DESCRIPTION

## TO BE COMPLETED BY APPLICANT

## A. LEGISLATIVE ACT

- ☐ Rezone from \_\_\_\_\_ zone density/intensity to \_\_\_\_\_ zone density/intensity.  
☐ General Plan Amendment  
☐ Specific Plan  
☐ Specific Plan Amendment

## B. DEVELOPMENT PROJECT

- ☒ Major Subdivision (TM)  
☐ Minor Subdivision (TPM)  
☐ Boundary Adjustment  
☐ Major Use Permit (MUP), purpose: \_\_\_\_\_  
☐ Time Extension... Case No. \_\_\_\_\_  
☐ Expired Map... Case No. \_\_\_\_\_  
☐ Other \_\_\_\_\_

- C. ☒ Residential ..... Total number of dwelling units 30  
☐ Commercial ..... Gross floor area \_\_\_\_\_  
☐ Industrial ..... Gross floor area \_\_\_\_\_  
☐ Other ..... Gross floor area \_\_\_\_\_

D. Total Project acreage 6.646 Total number of lots 32 (2 private street lots, 30 residential lots)

Applicant's Signature [Signature] Date 7/27/2023

Address 1106 Second St #115 Encinitas, CA 92024 Phone (760) 942-3256

(On completion of above, present to the school district to complete Section 2 below)

## Assessor's Parcel Number(s)

(Add extra if necessary)

2	5	9
2	5	9
2	5	9
2	5	9

1	8	0
1	8	0
1	8	0
1	8	0

0	9
1	0
1	6
3	3

2 5 9 1 8 1 02, 03, 04

Thomas Bros. Page \_\_\_\_\_ Grid \_\_\_\_\_  
 1220-1240 Melba Rd and

Project address 1190 Island View Ln  
 Street

Old Encinitas 92024  
 Community Planning Area/Subregion Zip

## SECTION 2. FACILITY AVAILABILITY

## TO BE COMPLETED BY DISTRICT

District Name: San Dieguito Union High School District

If not in a unified district, which elementary or high school district must also fill out a form?  
Encinitas Union

Indicate the location and distance of proposed schools of attendance. Elementary: N/A miles: \_\_\_\_\_  
 Junior/Middle: Oak Crest miles: 0.6 High school: La Costa Canyon miles: 5

☒ This project will result in the overcrowding of the ☐ elementary ☒ junior/middle ☒ high school.  
 (check all that apply)

☒ Fees will be levied either in accordance with Government Code Section 53080 or Section 65970 prior to the issuance of building permits.

☒ Project is located entirely within the district and is eligible for service.

☐ The project is not located entirely within the district and a potential boundary issue may exist with the \_\_\_\_\_ school district.

## FOR LEGISLATIVE ACTS (Rezones, General Plan Amendments, Specific Plans) ONLY:

☐ Pursuant to County Ordinance and the Public Facility Element of the General Plan, facilities to serve the project have been committed through a binding agreement satisfactory to the school district.

☐ A binding agreement has not yet been signed, but one will be required prior to legislative approval.

☐ No binding agreement is necessary.

Authorized signature: [Signature] Print name: John Addleman

Print title: Executive Director, Planning Services Phone: 760-753-6491

On Completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Planning & Community Development Department, 505 S. Vulcan Ave., Encinitas, CA 92024

**K-1F**

**Service  
Availability  
Letter:  
EDCO**

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October 14, 2022

Brian Staver  
Torrey Pacific Corporation  
171 Saxony Rd #109  
Encinitas Ca 92024

Re: **"Will Serve Letter"**  
Torrey Crest  
Melba Rd  
Encinitas CA 92024

To whom this may concern:

EDCO has reviewed the site plans for the proposed development referenced above. Based on the information you provided. We do not anticipate having any difficulty servicing the location identified in drawings you provided.

Units 10,11 & 12 will need to put their carts in front of unit 12.

Please feel free to contact us should you have any questions or concerns.

Sincerely,

Vicki Betz  
760-744-5615 x 123

***"We'll Take Care of It"***

224 S. Las Posas Road • San Marcos, California 92078  
(760) 744-2700 • Fax: (760) 752-8339 • [www.edcodisposal.com](http://www.edcodisposal.com) • Printed on Recycled Paper

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**K-2**

**Hydraulic  
Modeling, San  
Dieguito Water  
District's  
Potable Water  
System**

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## TECHNICAL MEMORANDUM

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**To:** Christina Olson, San Dieguito Water District  
**From:** Elizabeth Caliva, Dudek; Justin Scheidel, Dudek; Jenny Li, Dudek  
**Subject:** As-Needed Development Services Hydraulic Modeling (TO 8) – Torrey Crest (1220-1240 Melba Road, 1190 Island View Lane)  
**Date:** September 21, 2022

---

Torrey Pacific Corporation (Developer) is constructing thirty (30) single family residential units on approximately 6.6 acres of existing residential and vacant land. The proposed development, known as Torrey Crest, fronts Melba Rd approximately 1,000 feet east of Balour Dr. The existing site addresses are 1220, 1230, 1234, and 1240 Melba Rd and 1190 Island View Ln. **Figure 1** depicts the location of the project site. Attachment A includes preliminary site drawings for the proposed development.

The following technical memorandum evaluates the impacts of the proposed development on San Dieguito Water District's (District) existing potable water system. Both existing (2021) and future (2040) scenarios were analyzed to determine what, if any, improvements to the off-site or on-site system are required to maintain District design criteria while delivering water service to the proposed development and surrounding customers.

The memorandum is organized into the following sections:

- **Section 1 – Potable Water Demands** – Summarizes the anticipated potable water demands, including fire flow requirement, of the proposed development.
- **Section 2 – On-Site Improvements** – Summarizes the proposed on-site potable water facility improvements and tie-in to the District's existing system.
- **Section 3 – Existing Scenario Analysis & Results** – Summarizes the impact of the proposed development on the District's existing potable water system.
- **Section 4 – Future Scenario Analysis & Results** – Summarizes the impact of the proposed development on the District's future potable water system.
- **Section 5 – Recommendations** – Recommends improvements to the existing off-site and/or proposed on-site potable water system based on the results of the existing and future scenario analyses.

Figure 1: Location Map



# 1 Potable Water Demands

The potable water demand of the proposed development was estimated using Table 4-1-1 from the Water Agencies' Standards Design Guidelines for Water and Sewer Facilities (Attachment B), the District's standard for estimating residential demands. **Table 1** presents the anticipated demands of the proposed development.

**Table 1. Potable Water Demand Projections for Torrey Crest**

Dwelling Units (DUs)	Gross Area (Ac)	Dwelling Unit Density (DU/Ac)	Unit Water Demand <sup>1</sup> (gal/gross acre-day)	Average Day Water Demand (gpm)	Maximum Day Water Demand <sup>2</sup> (gpm)	Peak Hour Water Demand <sup>3</sup> (gpm)
30	6.646	4.5	2100	9.7	14.5	26.6

**Notes:**

<sup>1</sup> Assumed a dwelling unit density of 4 DU/Ac.

<sup>2</sup> Potable water MDD is equal to 1.5 x ADD per Table 3-5 from the District's 2022 Water System Master Plan.

<sup>3</sup> Peak hour demand is equal to 1.83 x MDD per pattern "MDD" in the District's latest potable water model.

---

According to the District's 2022 Water Master Plan, the fire flow requirement of the proposed development is 1,500 gpm for 2 hours as summarized in **Table 2**.

**Table 2. Fire Flow Requirement for Torrey Crest**

Land Use Category	Fire Flow Requirement (gpm) <sup>1</sup>	Duration (hours)
Single Family Residential	1,500	2

**Notes:**

<sup>1</sup> Fire flow requirement per Table 4-2 from the District's 2022 Water System Master Plan.

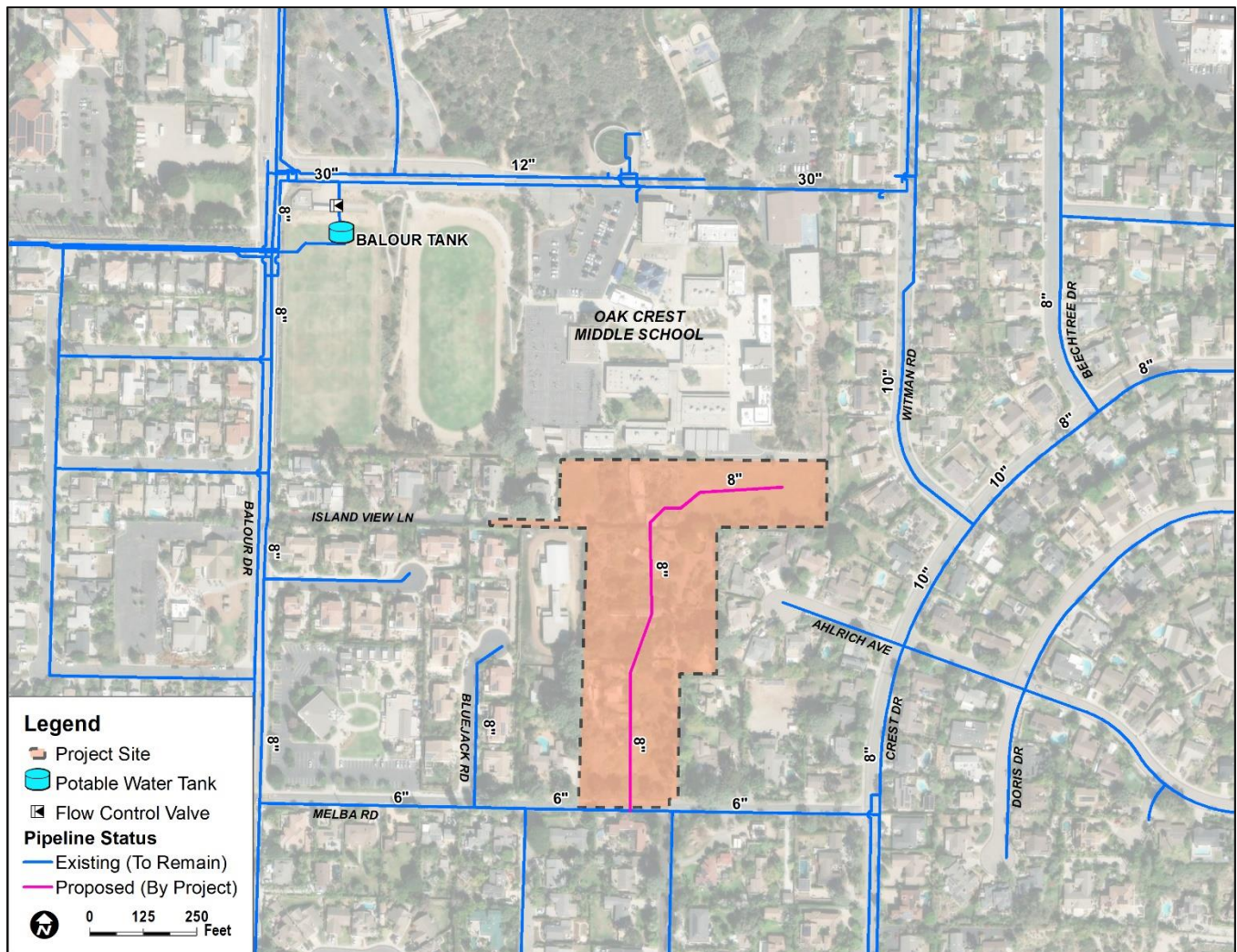
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## 2 On-Site Improvements

Per the preliminary site drawings in Attachment A and as shown in **Figure 2**, the developer proposes to install an on-site 8-inch PVC waterline beginning from a point of connection to the existing 6-inch waterline in Melba Rd and terminating in a cul-de-sac at the northeast corner of the project site. The proposed on-site waterline is designated as public and therefore will be maintained by the District.

*Figure 2: Proposed On-Site Water Improvements*



The proposed 8-inch waterline was added to the District's existing InfoWater™ model, created and calibrated by IEC in 2021. A Hazen-Williams coefficient ("C") of 130 was assumed for the new PVC waterline. On-site junction elevations were approximated from contour lines depicted on the preliminary grading plans. The proposed development resides within the District's 520 pressure zone.

## 3 Existing Scenario Analysis & Results

Analysis of the existing conditions included two (2) extended period simulation (EPS) scenarios—maximum day demand (MDD), which includes peak hour, and MDD plus fire flow. The following sections detail each analysis and results.

### 3.1 Existing Maximum Day and Peak Hour Analysis

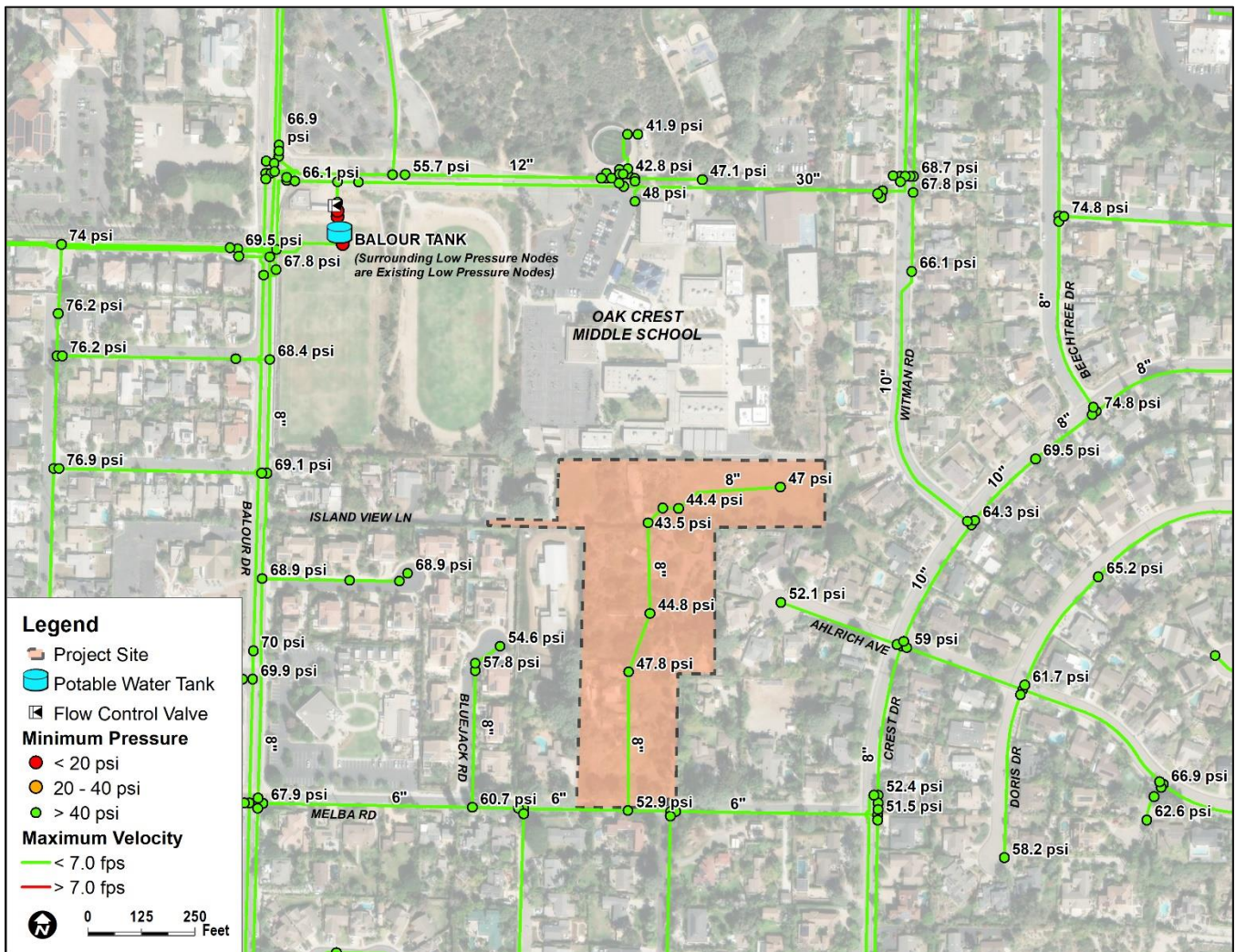
Scenario “2021\_MDD\_FF” in the existing potable water model was used to evaluate the impacts of the proposed development on the existing system and verify the on-site waterline is adequately sized for immediate service. The MDD of 14.5 gpm calculated in Table 1 was allocated evenly between the six (6) on-site model junctions. A twenty-four (24) hour EPS was performed under MDD conditions.

The model results were compared to District design criteria listed in Table 4-1 from the 2022 Water System Master Plan, which call for a minimum service pressure of 40 psi and maximum pipeline velocity of 7 fps under peak flow conditions.

The results shown in **Figure 3** indicate pipeline velocities surrounding and within the proposed development are not expected to exceed 7 fps. Furthermore, junction pressures are not projected to fall below 40 psi. The low-pressure nodes surrounding the Balour Tank northwest of the proposed development are existing low-pressure nodes with zero demands and therefore not applicable to the analysis. Therefore, the proposed on-site 8-inch waterline can meet peak demand while maintaining District design criteria in the existing system.



Figure 3: Minimum Junction Pressures and Maximum Pipeline Velocities – Existing MDD Analysis



## 3.2 Existing Maximum Day Plus Fire Flow Analysis

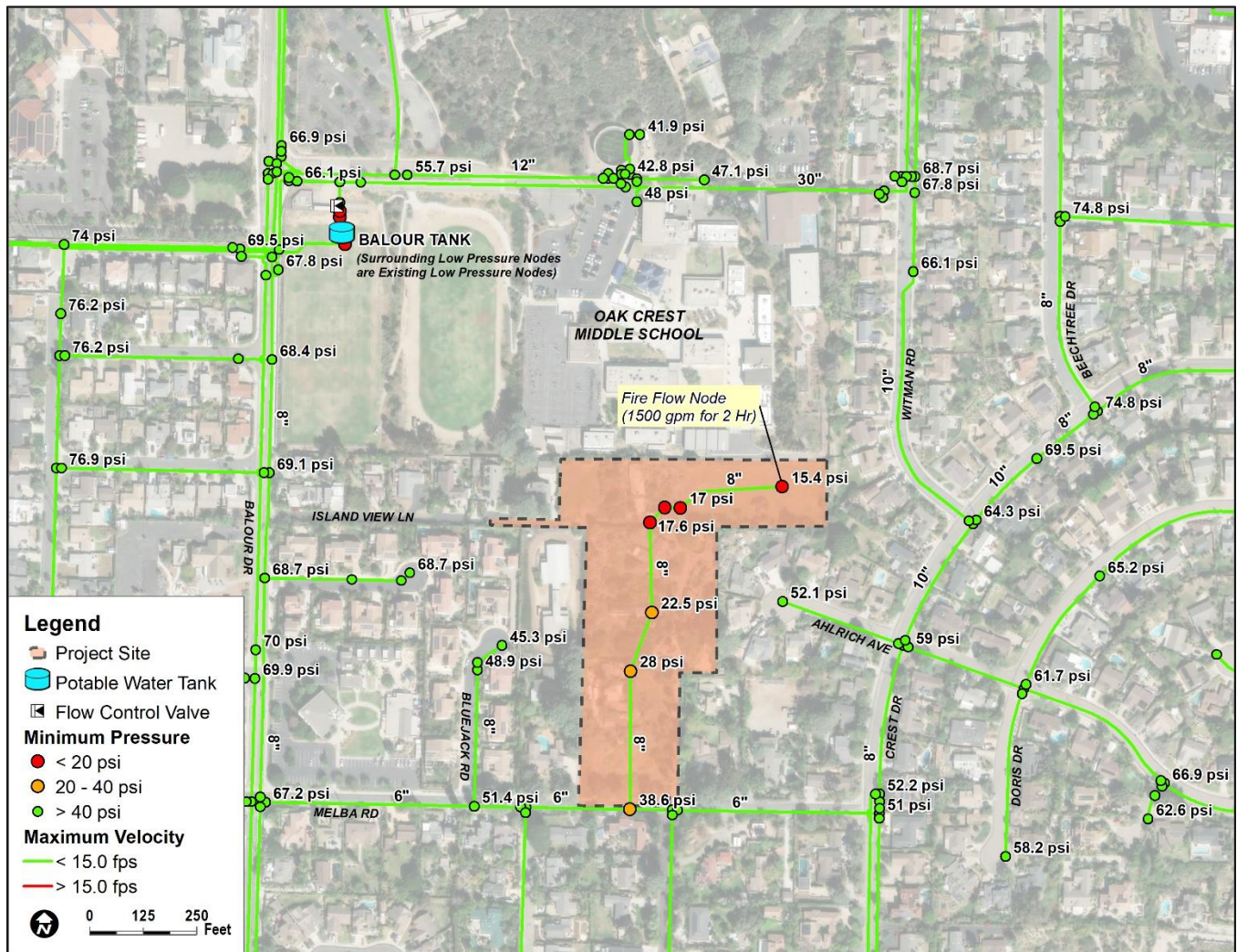
An additional 24-hour EPS was performed under existing MDD plus fire flow conditions to verify the proposed on-site waterline can deliver the required fire flow while maintaining District design criteria. The District allows a minimum service pressure of 20 psi and maximum pipeline velocity of 15 fps under MDD plus fire flow conditions.

A worst-case fire event was simulated by applying the required fire flow of 1,500 gpm to the dead-end node at the northeast corner of the project site.

The results shown in **Figure 4** indicate pipeline velocities surrounding and within the proposed development are not expected to exceed 15 fps. However, pressures will fall below 20 psi on-site due to the fire flow demand. Off-site pressures will remain above 20 psi. The low-pressure nodes surrounding the Balour Tank northwest of the proposed development are existing low-pressure nodes with zero demands and therefore not applicable to the analysis.



Figure 4: Minimum Junction Pressures and Maximum Pipeline Velocities – Existing Fire Flow Analysis



Two options to minimize headloss through the distribution system and therefore improve low pressures under fire flow conditions are presented below, including:

1. Upsizing a portion of the proposed on-site 8-inch waterline to 12-inch
2. Upsizing a portion of the existing off-site 6-inch waterline in Melba Rd to 8-inch



### 3.2.1 Option 1: Upsize On-Site Waterline

Under Option 1, a portion of the proposed on-site waterline is upsized to reduce headloss and convey existing maximum day plus fire flow demands without violating District pressure design criteria. **Figure 5** presents the results of an MDD plus fire flow analysis with approximately 320 feet of proposed on-site 8-inch waterline upsized to 12-inch. On-site and off-site pressures remain above 20 psi and pipeline velocities do not exceed 15 fps. Therefore, Option 1 requires a minimum of 320 feet of the proposed on-site 8-inch waterline north of Melba Rd to be upsized to 12-inch to accommodate maximum day plus fire flow demands while maintaining District design criteria under existing demand conditions.

Figure 5: Minimum Junction Pressures and Maximum Pipeline Velocities – Existing Fire Flow Analysis with Upsizing On-Site

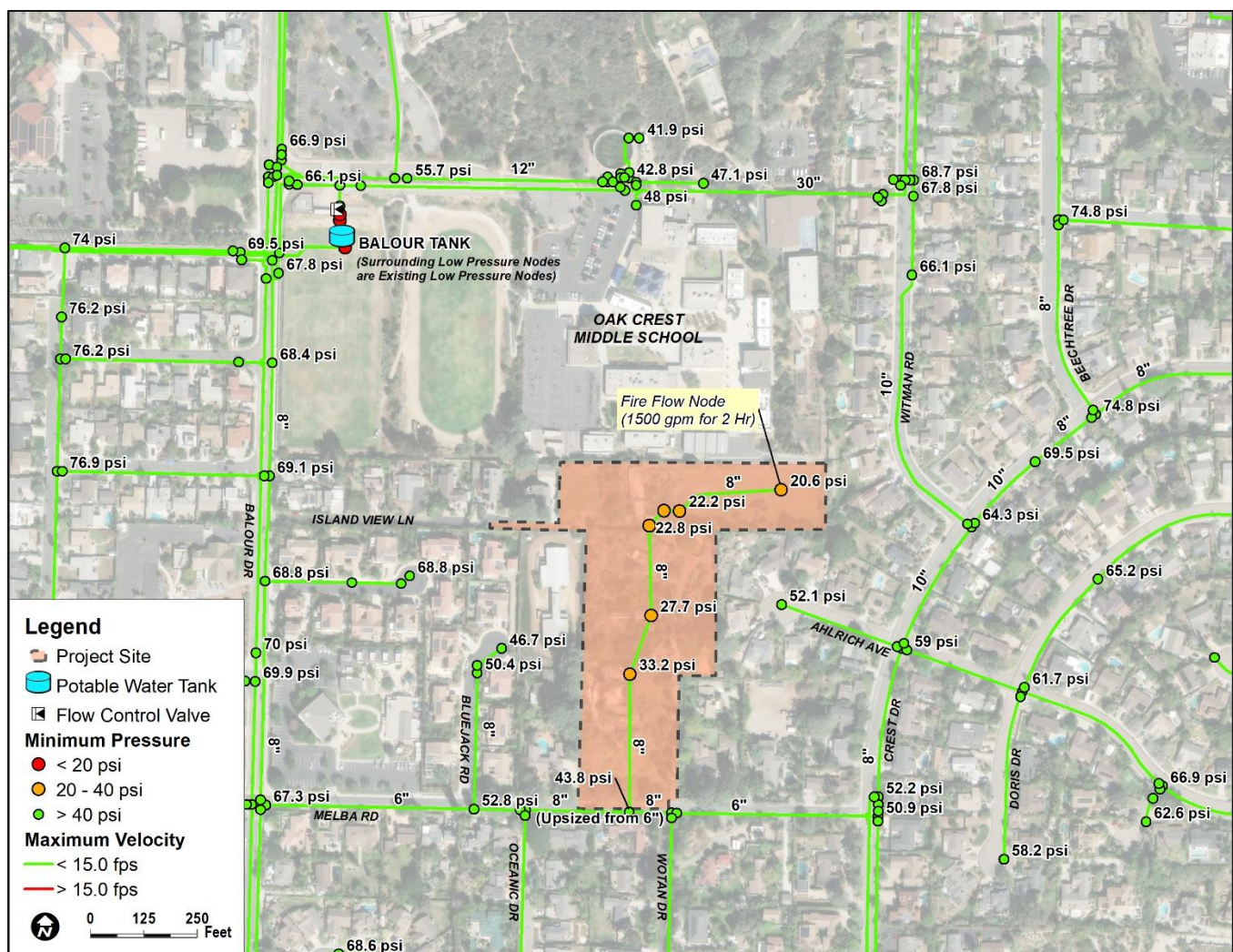




### 3.2.2 Option 2: Upsize Off-Site Waterline

Under Option 2, a portion of the existing off-site waterline in Melba Rd is upsized to reduce headloss and convey existing maximum day plus fire flow demands without violating District pressure design criteria. **Figure 6** presents the results of an MDD plus fire flow analysis with approximately 350 feet of existing off-site 6-inch waterline in Melba Rd between Oceanic Dr and Wotan Dr upsized to 8-inch. On-site and off-site pressures remain above 20 psi and pipeline velocities do not exceed 15 fps. Therefore, Option 2 requires a minimum of 350 feet of existing off-site 6-inch waterline in Melba Rd to be upsized to 8-inch to accommodate maximum day plus fire flow demands while maintaining District design criteria under existing demand conditions.

Figure 6: Minimum Junction Pressures and Maximum Pipeline Velocities – Existing Fire Flow Analysis with Upsizing Off-Site



## 4 Future Scenario Analysis & Results

Analysis of the future conditions included two (2) EPS scenarios—MDD, which includes peak hour, and MDD plus fire flow. The following sections detail each analysis and results.

### 4.1 Future Maximum Day and Peak Hour Analysis

In addition to the existing “2021\_MDD\_FF” scenario, Dudek created a future “2040\_MDD\_FF” scenario to evaluate the impacts of the proposed development on the future system and verify the on-site waterline is adequately sized for the ultimate condition. Future average daily demands were calculated using the growth factors outlined in the District’s 2022 Water Master Plan. As in the existing scenario analysis, a 24-hour EPS was performed under MDD conditions and model results compared to District design criteria.

The future scenario analysis was evaluated under upsizing Options 1 and 2 from Section 3.2 above, as required to meet design criteria under existing MDD plus fire flow conditions.

The results shown in **Figures 7** and **8** indicate that under future peak demand conditions, pipeline velocities surrounding and within the proposed development are not expected to exceed 7 fps under either upsizing Options 1 or 2. Furthermore, junction pressures are not projected to fall below 40 psi. Therefore, both upsizing options are anticipated to be able to meet peak hour demand while maintaining District design criteria in the future system.

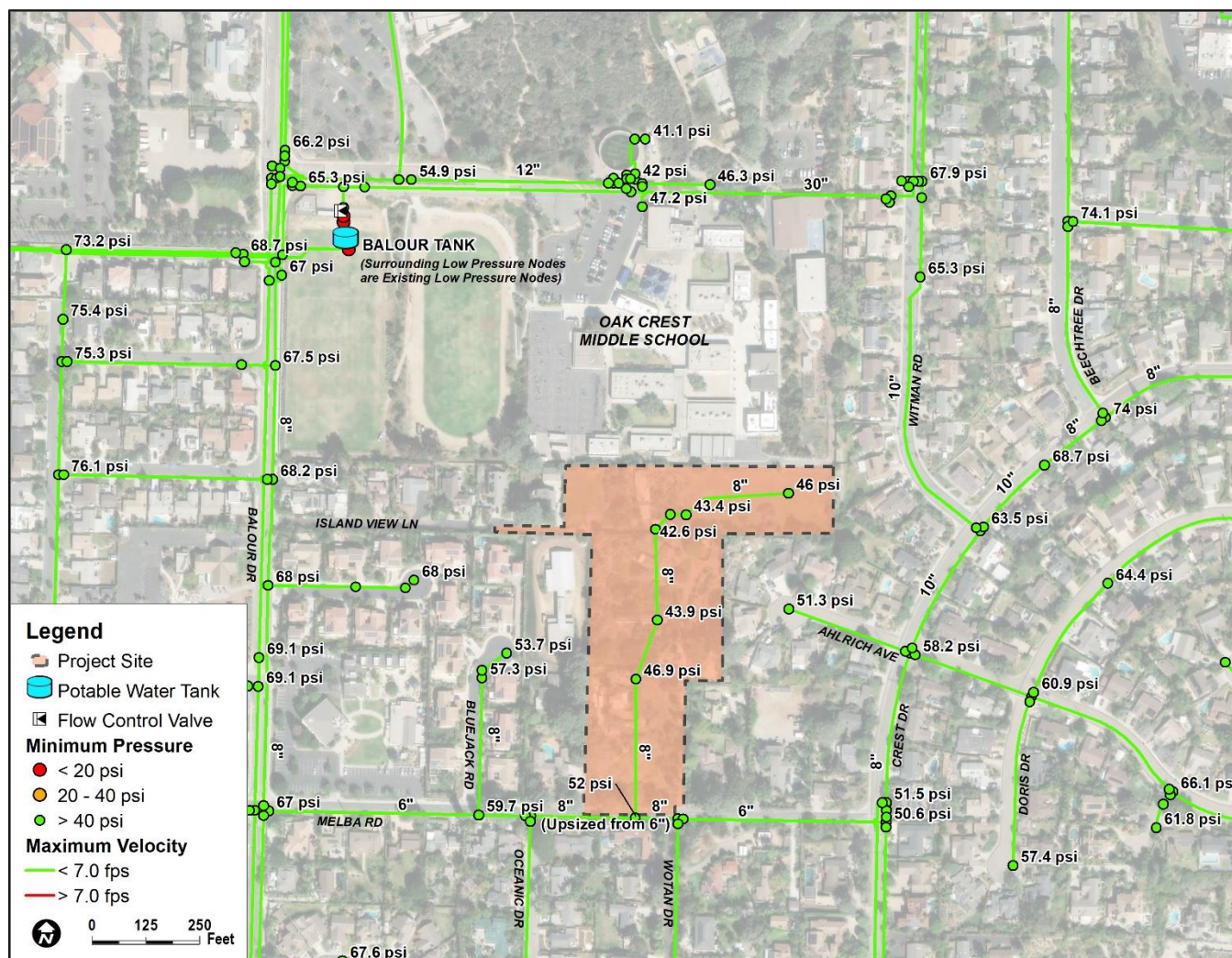


Figure 7: Minimum Junction Pressures and Maximum Pipeline Velocities – Future MDD Analysis (Option 1)





Figure 8: Minimum Junction Pressures and Maximum Pipeline Velocities – Future MDD Analysis (Option 2)



## 4.2 Future Maximum Day Plus Fire Flow Analysis

As in the existing demand analysis, an additional 24-hour EPS was performed under future MDD plus fire flow conditions to verify the on-site waterline can deliver the required fire flow while maintaining District design criteria. This condition was evaluated under both upsizing Options 1 and 2. Once again, a worst-case fire event was simulated by applying the required fire flow of 1,500 gpm to the dead-end node at the northeast corner of the project site.

### 4.2.1 Option 1: Upsize On-Site Waterline

Under upsizing Option 1, with 320 LF of on-site waterline sized at 12-inch diameter, the results shown in **Figure 9** indicate pipeline velocities surrounding and within the proposed development are not expected to exceed 15 fps. However, the pressure at the dead-end node on site falls just below 20 psi due to the fire flow demand. Off-site pressures will remain above 20 psi. The low-pressure nodes surrounding the Balour Tank northwest of the proposed development are existing low-pressure nodes with zero demands and therefore not applicable to the analysis.

An additional segment of the proposed on-site waterline must be upsized to convey future maximum day plus fire flow demands without violating District low pressure design criteria. **Figure 10** presents the results of an MDD plus fire flow analysis with approximately 40 feet of proposed on-site 8-inch waterline upsized to 12-inch, in addition to the 320 feet of waterline upsized in the existing system analysis. On-site and off-site pressures remain above 20 psi and pipeline velocities do not exceed 15 fps. Therefore, approximately 360 feet of the proposed on-site 8-inch waterline north of Melba Rd must be upsized to 12-inch to maintain District design criteria under future MDD plus fire flow conditions.



Figure 9: Minimum Junction Pressures and Maximum Pipeline Velocities – Future Fire Flow Analysis Under Option 1 (320 LF On-Site Waterline Sized at 12-inch)

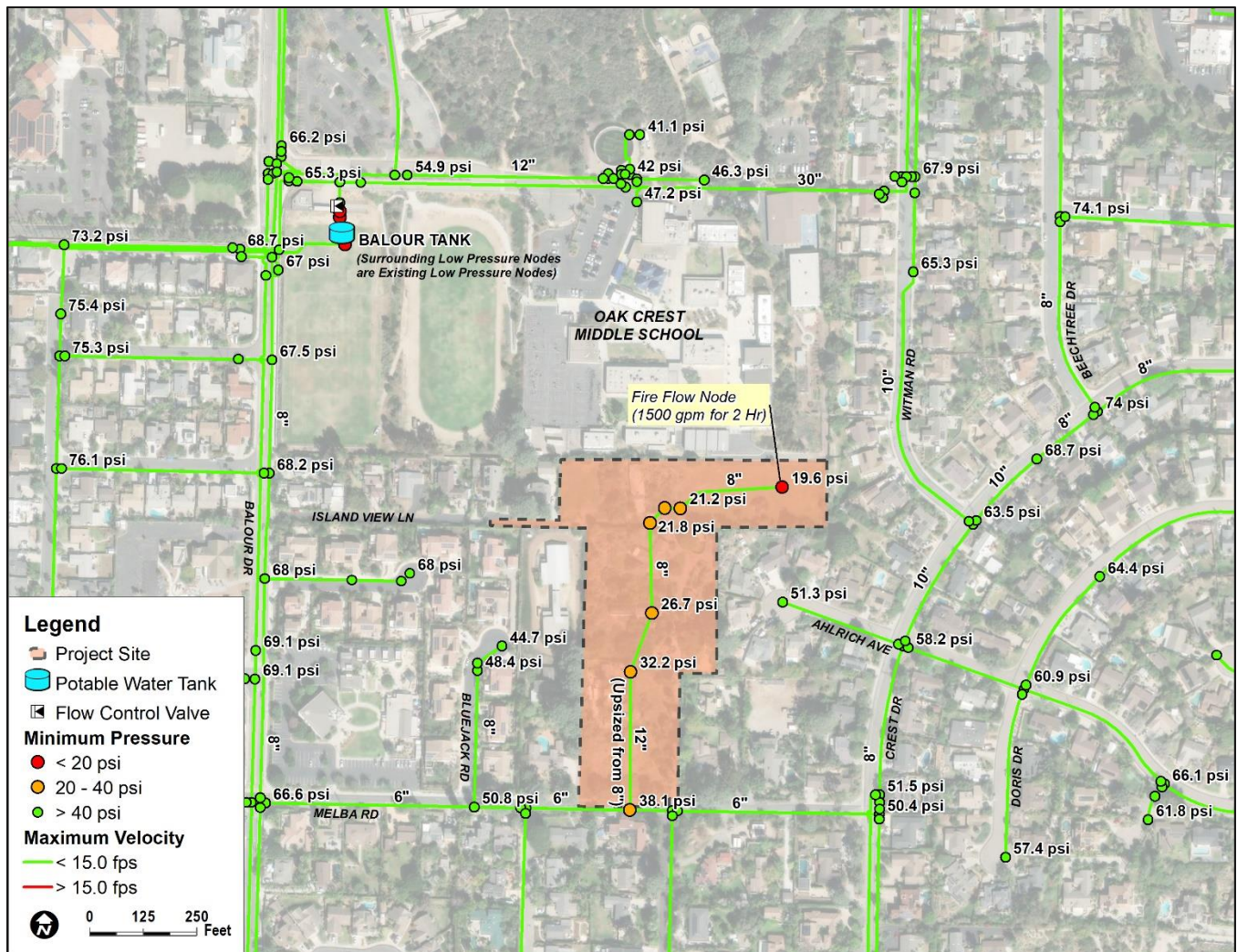
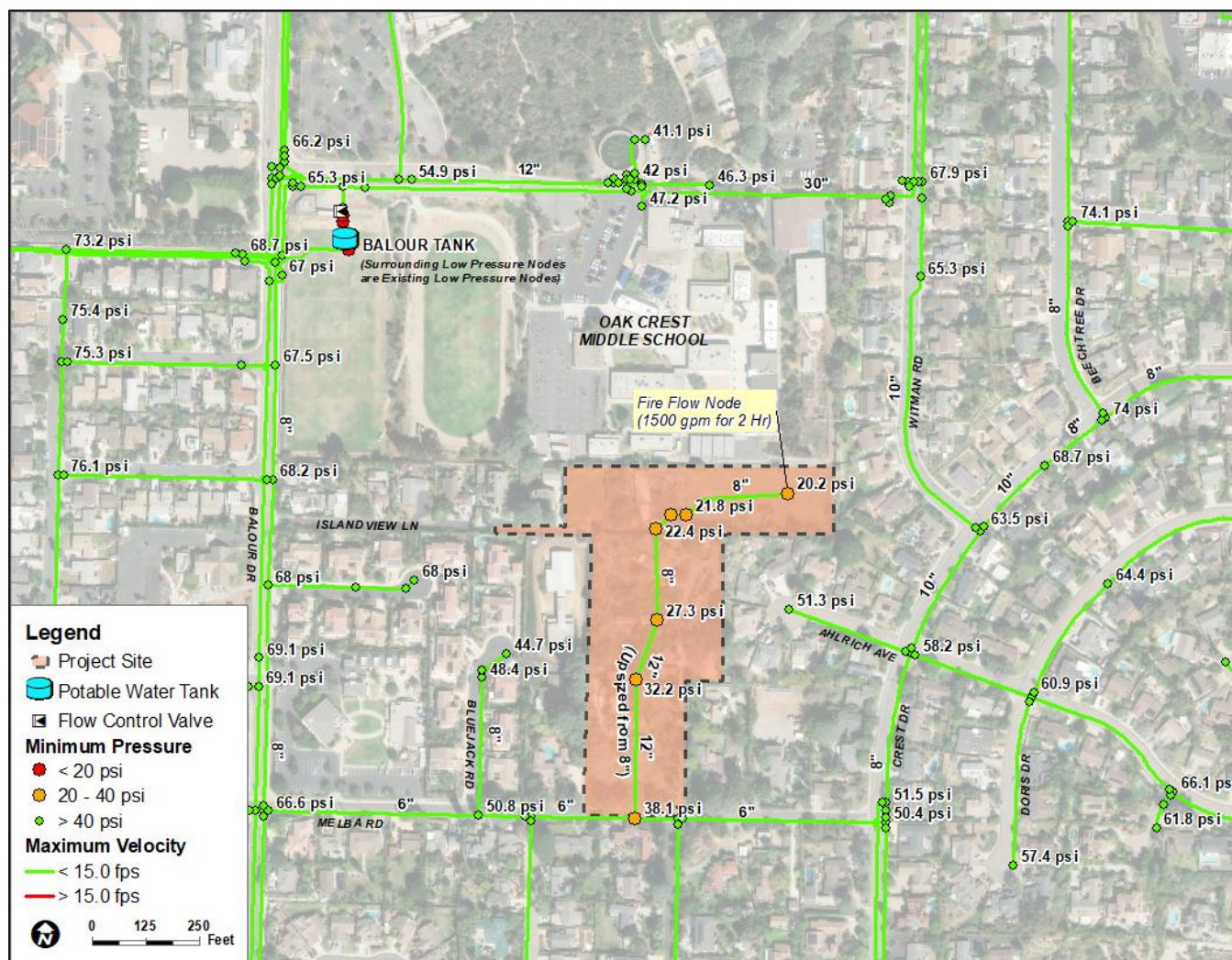




Figure 10: Minimum Junction Pressures and Maximum Pipeline Velocities – Future Fire Flow Analysis Under Option 1 with Additional Upsizing On-Site

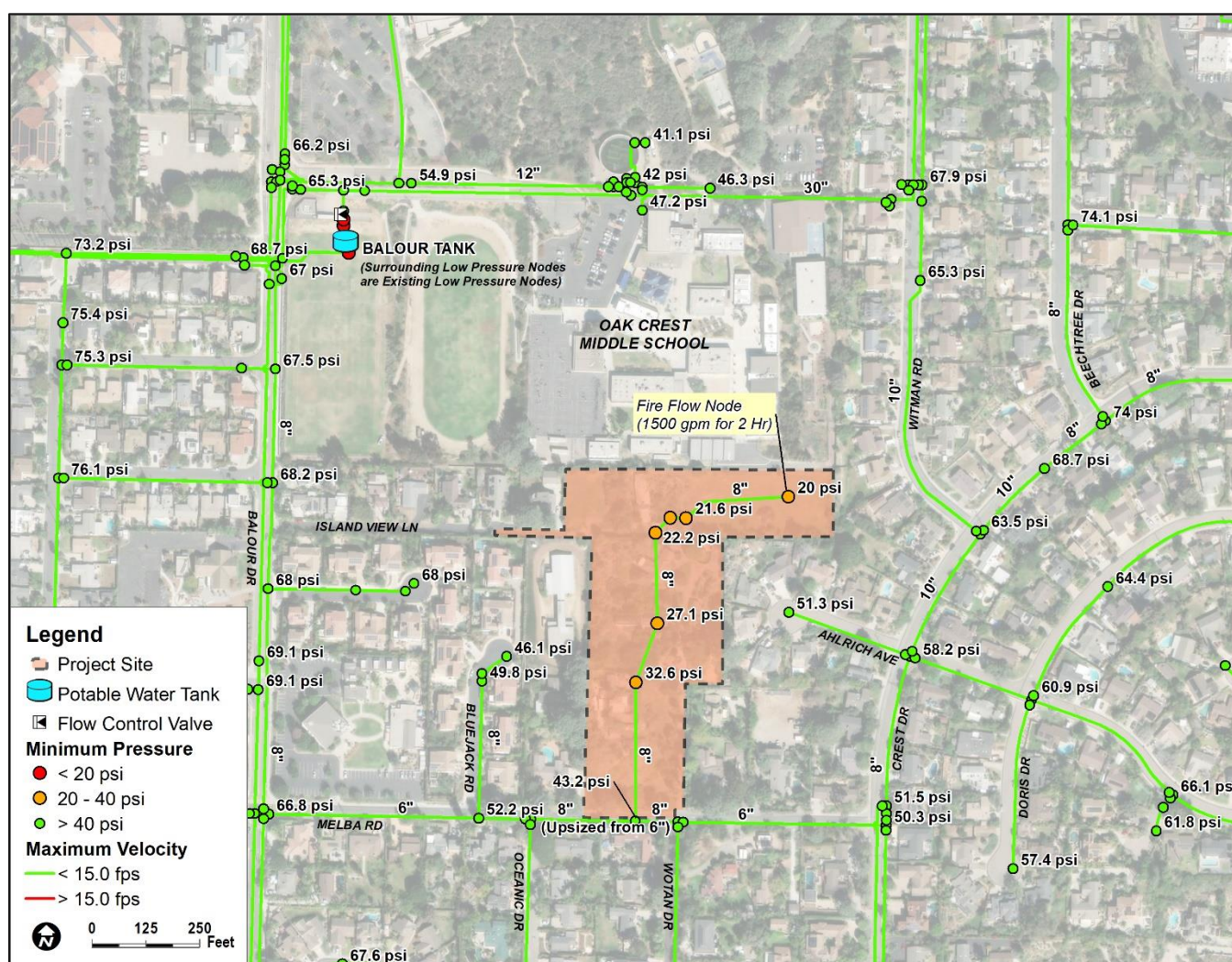




#### 4.2.2 Option 2: Upsize Off-Site Waterline

Under upsizing Option 2, with 350 LF of existing off-site 6-inch waterline in Melba Road upsized to 8-inch diameter, the results shown in **Figure 11** indicate pipeline velocities surrounding and within the proposed development are not expected to exceed 15 fps. Additionally, off-site and on-site pressures remain at or above the District's minimum requirement of 20 psi. Therefore, no additional off-site waterline upsizing in Melba Rd beyond the 350 LF previously determined as required for the existing system is necessary to maintain District design criteria under future MDD plus fire flow conditions.

Figure 11: Minimum Junction Pressures and Maximum Pipeline Velocities – Future Fire Flow Analysis Under Option 2 (350 LF Off-Site Waterline Sized at 8-inch)





## 5 Recommendations

Based on the results of the existing and future analyses presented in the preceding sections, the proposed development cannot proceed as proposed in the preliminary site drawings. Either on-site or off-site waterline upsizing will be necessary to convey the required fire flow to the project site while maintaining District design criteria. Since the project is served by a dead-end line, the District will not allow a portion of the on-site proposed waterline to be upsized to 12-inch due to on-going water quality considerations (i.e., the need for regular flushing of the line). Therefore, it is recommended that 350 LF of existing off-site 6-inch waterline in Melba Ave between Oceanic Dr and Wotan Dr be upsized to 8-inch to ensure sufficient fire flow to the project site under maximum day demand conditions within District design criteria.

# ATTACHMENT A PRELIMINARY SITE DRAWINGS

---

## LEGEND

PROPERTY LINE (PL)	---
ADJACENT PROPERTY LINE / RIGHT-OF-WAY (ROW)	=====
CENTERLINE OF ROAD	-----
EXISTING ASSESSOR'S PARCEL LIMITS	-----
EXISTING EASEMENTS	----
ADJACENT LOT LINES	----

## EXISTING EASEMENT INFORMATION

REFER TO SHEET 3 FOR PLOTTING OF EXISTING EASEMENTS

\*EXISTING EASEMENTS SHOWN IN ACCORDANCE WITH  
PRELIMINARY TITLE REPORT PREPARED BY FIDELITY  
NATIONAL TITLE DATED FEBRUARY 25, 2022 AS ORDER  
NUMBER 00171756-986-SD1-RT4

## PROPOSED EASEMENT INFORMATION

REFER TO SHEET 2 FOR PLOTTING OF PROPOSED EASEMENTS

## DENSITY CALCULATIONS

GROSS ACREAGE 6.646 ACRES (289,503 SF)

SLOPE (%)	AREA (AC)	DENSITY (DU)
0 - 25	6.557	3.0
25 - 40	0.059	3.0 / 2
40 +	0.030	0
TOTAL	= 6.646	

BASE UNITS ALLOWED = 6.646 GROSS AC \* 3.0 DU / AC = 19.94

BASE DENSITY PER  
DENSITY BONUS ROUND UP = 20.0

3 / 20 UNITS AS AFFORDABLE = 15.0% AFFORDABLE

50.0% DENSITY BONUS PER  
GOVT. CODE 65915 FOR  
15% "VERY LOW" AFFORDABLE UNITSPROPOSED MARKET RATE UNITS = 27.0  
PROPOSED "VERY LOW" AFFORDABLE UNITS = 3.0  
TOTAL PROPOSED UNITS = 30.0

PER DENSITY BONUS ROUND UP = 30.0 UNITS

## NET ACREAGE CALCULATIONS

ACREAGE	GROSS ACRES
6.646 AC	
(0.09 AC)	LESS: EXISTING PUBLIC ROAD EASEMENT
(0.03 AC)	LESS: PROPOSED MELBA ROAD DEDICATION
(0.24 AC)	LESS: EXISTING ROAD & PUBLIC UTILITY EASEMENT
(0.68 AC)	LESS: PROPOSED PRIVATE ROAD LOT (LOT A)
5.61 ACRES	NET ACRES

SLOPE ADJUSTED = 5.52 AC + 0.06 AC \* 50% + 0.03 AC \* 0%  
NET ACREAGE = 5.55 AC

## STATE DENSITY BONUS LAW CONCESSIONS / INCENTIVES

- THE PROJECT IS ALLOWED THREE (3) INCENTIVES FOR INCLUDING AT LEAST 15 PERCENT OF TOTAL UNITS FOR "VERY LOW" INCOME HOUSEHOLDS PURSUANT TO STATE DENSITY BONUS LAW (SDBL), CA GOVERNMENT CODE 65915. APPLICANT IS REQUESTING TO USE TWO (2) INCENTIVES AT THIS TIME AS IDENTIFIED IN SECTION 10 OF THE LETTER TITLED "DENSITY BONUS SUBDIVISION APPLICATION SUPPLEMENT" ("DB"). APPLICANT REQUESTS TO USE TWO (2) INCENTIVE REQUESTS. 1. TO NOT UNDERGROUND OVERHEAD UTILITIES AND 2. FOR BUILDING HEIGHT. REFER TO SEPARATE LETTER FOR ADDITIONAL INFORMATION.
- WAIVER OF "DEVELOPMENT STANDARDS" AS IDENTIFIED IN SECTION 30.16.010 IN THE CITY OF ENCINITAS MUNICIPAL CODE, INCLUDING NET LOT AREA, LOT WIDTH, LOT DEPTH, BUILDING HEIGHT, PRIVATE STREETS (ROAD WIDTH AND CUL-DE-SAC RADIUS), AND SIDE, FRONT, AND REAR YARD SETBACKS, CONNECTIVITY OF ADJACENT LAND USES (30.16.010H AND 24.12.090), SUBDIVISION DESIGN STANDARDS (24.12.030), AND DEVELOPMENT STANDARDS (30.28.010). REFER TO SEPARATE LETTER FOR ADDITIONAL INFORMATION.

## SHEET INDEX

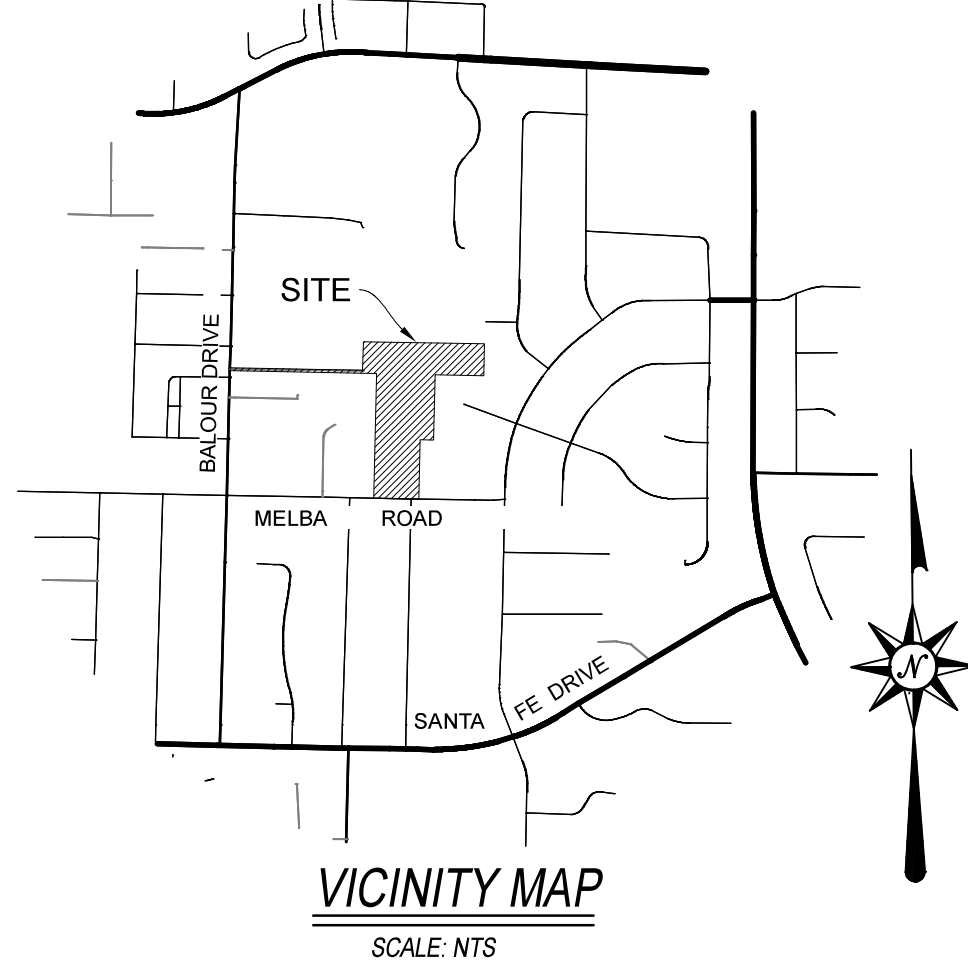
SHEET 1 - TENTATIVE MAP TITLE SHEET AND NOTES  
SHEET 2 - PROJECT KEY MAP AND PROPOSED LOT LAYOUT  
SHEET 3 - EXISTING EASEMENTS EXHIBIT  
SHEET 4 - PRELIMINARY GRADING PLAN (LOTS 1-6, 24-30)  
SHEET 5 - PRELIMINARY GRADING PLAN (LOTS 5-14, 20-25)  
SHEET 6 - PRELIMINARY GRADING PLAN (LOTS 13-23)  
SHEET 7 - PRELIMINARY UTILITY PLAN  
SHEET 8 - SECTIONS AND DETAILS  
SHEET 9 - SECTIONS AND DETAILS  
SHEET 10 - SLOPE ANALYSIS  
SHEET 11 - CURB UTILIZATION EXHIBIT  
SHEET 12 - MELBA ROAD FRONTAGE IMPROVEMENTS  
SHEET 13 - SOIL BURIAL EXHIBIT

## DISTURBED AREA CALCULATIONS

TOTAL EXIST. GROSS SITE AREA: 289,503 SF (6.646 AC)

AREA DISTURBED BY PROJECT: 275,108 SF (6.316 AC)

## SITE ADDRESS

1220 MELBA ROAD  
ENCINITAS, CA 92024  
APN: 259-180-16-00UNASSIGNED ADDRESS  
ENCINITAS, CA 92024  
APN: 259-181-02-001230 MELBA ROAD  
ENCINITAS, CA 92024  
APN: 259-180-33-001190 ISLAND VIEW LANE  
ENCINITAS, CA 92024  
APN: 259-181-03-001234 MELBA ROAD  
ENCINITAS, CA 92024  
APNS: 259-180-10-00UNASSIGNED ADDRESS  
ENCINITAS, CA 92024  
APN: 259-181-04-001240 MELBA ROAD  
ENCINITAS, CA 92024  
APNS: 259-180-09-00  
259-180-10-00

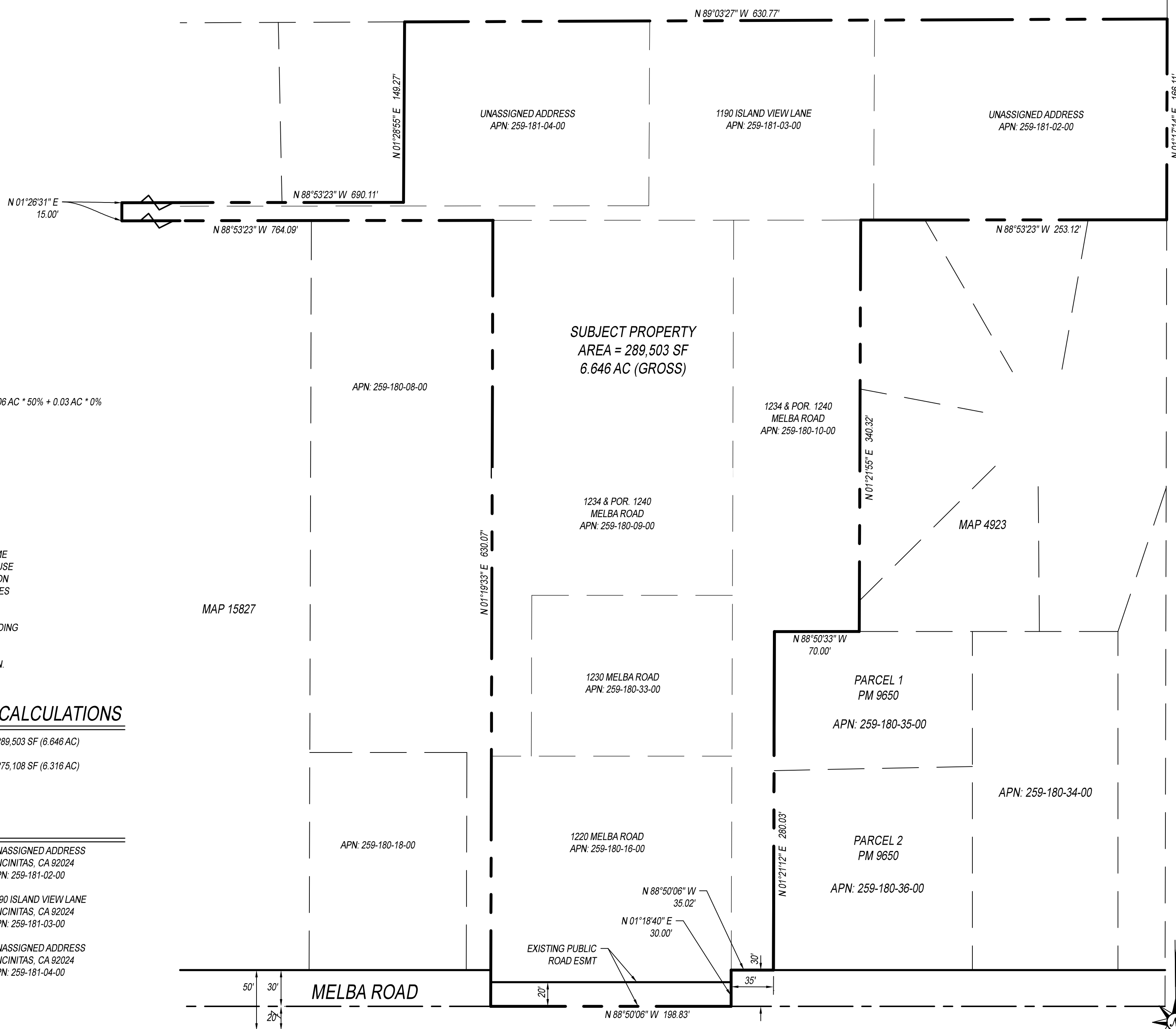
VICINITY MAP

SCALE: NTS

## SCOPE OF WORK

THE PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ONSITE STRUCTURES AND CONSTRUCT A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. THE DENSITY BONUS PROJECT PROPOSES TO SUBDIVIDE THE PROPERTY TO CREATE 30 NEW SINGLE-FAMILY LOTS WITH 27 MARKET-RATE UNITS AND 3 VERY-LOW AFFORDABLE UNITS, INCLUDING THE CONSTRUCTION OF A NEW PRIVATE ROAD, AND ASSOCIATED UTILITY, DRAINAGE, AND STORM WATER TREATMENT IMPROVEMENTS. THE PROJECT SEEKS APPROVAL OF A DENSITY BONUS TENTATIVE MAP, DESIGN REVIEW PERMIT, AND COASTAL DEVELOPMENT PERMIT, AND REQUESTS MULTIPLE WAIVERS OF DEVELOPMENT STANDARDS AS WELL AS TWO (2) INCENTIVES / CONCESSIONS ALLOTTED UNDER STATE DENSITY BONUS LAW BY PROVIDING AFFORDABLE HOUSING. THE PROJECT PROPOSES FILL IN EXCESS OF 4 FEET.

# MULTI-004309-2021 / DR-004311-2021 / SUB-004310-2021 / CDPNF-004312-2021 TORREY CREST 1220-1240 MELBA ROAD, 1190 ISLAND VIEW LANE



## PLAN VIEW - EXISTING APN LAYOUT

SCALE: 1" = 60' HORIZONTAL

## IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREA (ONSITE): 39,862 SF (0.915 AC)  
PROPOSED IMPERVIOUS AREA HEREON (ONSITE): 153,575 SF (3.526 AC)  
ASSUMED FUTURE LOT IMPERVIOUS AREA (ONSITE): 15,135 SF (0.357 AC)  
TOTAL IMPERVIOUS AREA (ONSITE): 168,710 SF (3.87 AC)

INCREASE IN IMPERVIOUS AREA: 128,858 SF (2.958 AC)

## OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP, DESIGN REVIEW, AND COASTAL DEVELOPMENT PERMIT AND THAT SAID APPLICATION SHOWS THE ENTIRE, CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER:  
DAN STAVER FOR: TORREY PACIFIC CORPORATION  
171 SAXONY ROAD, SUITE 109  
ENCINITAS, CA 92024  
PH: (760) 942-3256

## SUBDIVIDER INFORMATION

THE SUBDIVIDER AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY OF ENCINITAS AND ITS AGENTS, OFFICERS, AND EMPLOYEES FROM ANY CLAIM ACTION, OR PROCEEDING AGAINST THE CITY OF ENCINITAS OR ITS AGENTS, OFFICERS OR EMPLOYEES, TO ATTACK, SET ASIDE, VOID, OR ANNUL AN APPROVAL FROM THE CITY OF ENCINITAS CONCERNING THE SUBDIVISION WHEN SUCH ACTION IS BROUGHT WITHIN THE TIME PERIOD SPECIFIED IN GOV. CODE SECTION 66499.37. THIS CERTIFICATION IS CONDITIONED UPON THE CITY OF ENCINITAS PROVIDING PROMPT NOTICE TO THE SUBDIVIDER AS PROVIDED FOR BY THE ACT (GOV. CODE 66474.9)

SUBDIVIDER:  
DAN STAVER FOR: TORREY PACIFIC CORPORATION  
171 SAXONY RD., SUITE 109  
ENCINITAS, CA 92024  
PH: (760) 942-3256

## ABBREVIATED LEGAL DESCRIPTION

"PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

"FOR FULL LEGAL DESCRIPTION, REFER TO PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE DATED FEBRUARY 25, 2022 AS ORDER NUMBER 00171756-986-SD1-RT4

## TOPOGRAPHY

TOPOGRAPHY OBTAINED BY: FIELD SURVEY  
TOPOGRAPHY OBTAINED ON: SEPTEMBER 25, 2019  
PREPARED BY: PASCO, LARET, SUITER & ASSOCIATES

## BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON A WELL MONUMENT AT THE CENTER OF CUL DE SAC, EAST END OF ORANGE VIEW DRIVE, PER ROS 18416, AS PT. NO. 1035  
ELEVATION = 243.238  
DATUM = NAVD 88

## UTILITIES

WATER: SAN DIEGUITO WATER DISTRICT  
FIRE: ENCINITAS FIRE PROTECTION DISTRICT  
SEWER: CAROLIS SANITARY DIVISION  
ELEMENTARY SCHOOL: ENCINITAS UNION SCHOOL DISTRICT  
HIGH SCHOOL: SAN DIEGUITO UNION HIGH SCHOOL DISTRICT

## ZONING INFORMATION

GENERAL PLAN DESIGNATION: R-3  
PRESENT ZONING REQUIREMENTS: R-3  
BUILDING HEIGHT: \*PER CODE 30.16.010 B7  
PRESENT USE: PROPOSED USE:  
RESIDENTIAL  
30 SINGLE-FAMILY RESIDENCES  
1 PRIVATE ROAD LOT  
1 NON-BUILDABLE PANHANDLE LOT  
27 MARKET-RATE UNITS  
3 VERY-LOW AFFORDABLE UNITS

\*SEE NOTE REGARDING BUILDING HEIGHT ON SHEET 2

SMALL EST PROPOSED LOT: LOT 17 (4,434 SF)  
LARGEST PROPOSED LOT: LOT 1 (114,456 SF)  
AVERAGE PROPOSED LOT SIZE: 8,072 SF

## EARTHWORK / PROJECT GRADING

CUT: 22,000 CY  
FILL: 6,500 CY  
EXPORT: 15,500 CY  
REMEDIAL: -8,000 CY  
MAX CUT HEIGHT: 8.0 FT  
MAX FILL HEIGHT: 7.5 FT

\*ESTIMATE DOES NOT INCLUDE STRIPPINGS OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS

CONTRACTOR SHALL SELF SATISFY THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. THESE QUANTITIES ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING DESIGN AND DETAILING

## ACCESS

MELBA ROAD, A PUBLIC ROAD

## PREPARED BY

PREPARED BY:  
PASCO, LARET, SUITER & ASSOCIATES  
535 N. HIGHWAY 101, SUITE A  
SOLANA BEACH, CA 92075  
PH: (858) 259-8212

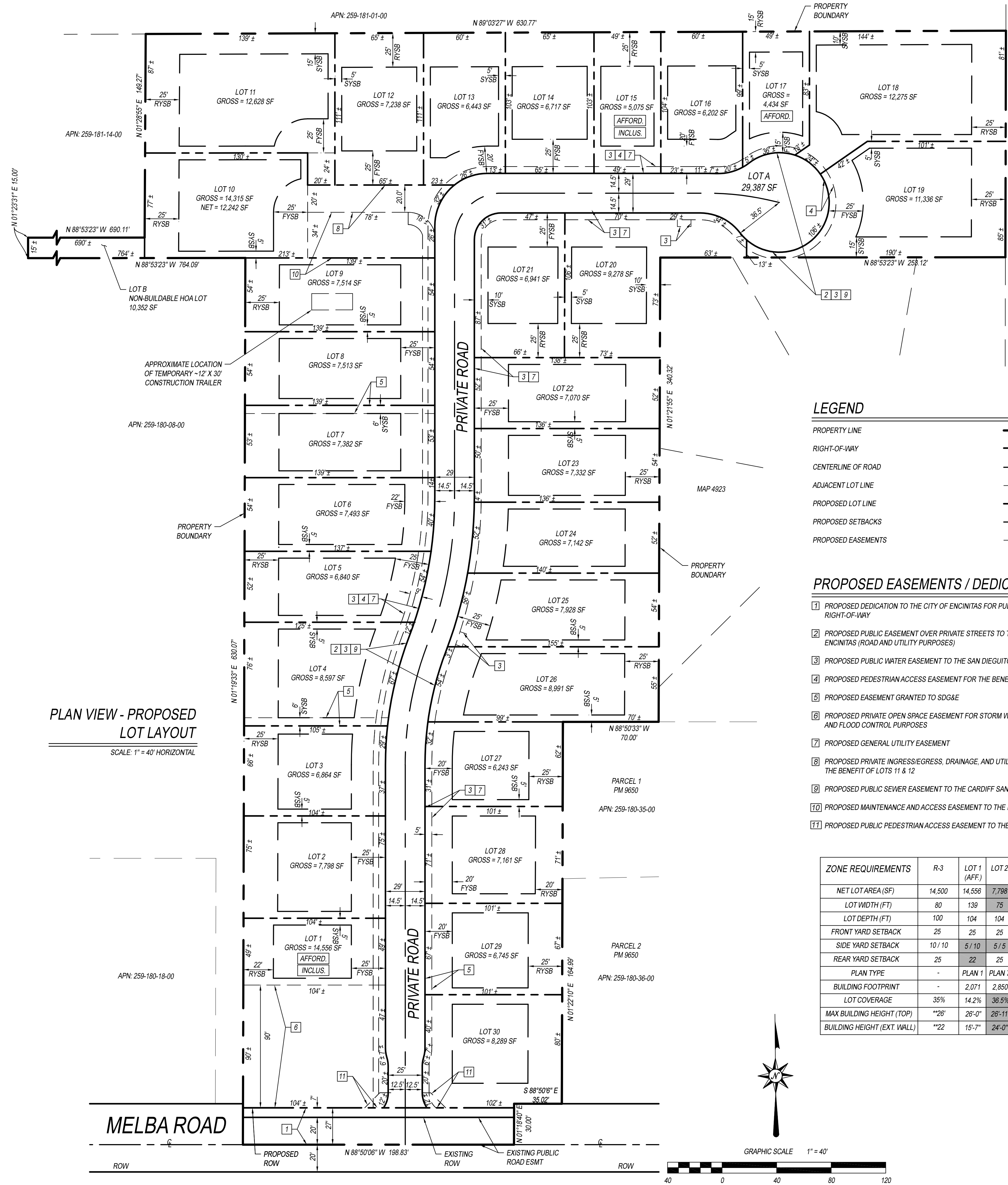
## ENGINEER OF WORK

TYLER LAWSON, PE #80356

DATE



**PASCO LARET SUITER**  
& ASSOCIATES  
San Diego | Solana Beach | Orange County  
Phone 858.259.8212 | www.plsaengineering.com

**LEGEND**

PROPERTY LINE	---
RIGHT-OF-WAY	---
CENTERLINE OF ROAD	---
ADJACENT LOT LINE	---
PROPOSED LOT LINE	---
PROPOSED SETBACKS	---
PROPOSED EASEMENTS	---

**PROPOSED EASEMENTS / DEDICATIONS**

- [1] PROPOSED DEDICATION TO THE CITY OF ENCINITAS FOR PUBLIC STREET RIGHT-OF-WAY
- [2] PROPOSED PUBLIC EASEMENT OVER PRIVATE STREETS TO THE CITY OF ENCINITAS (ROAD AND UTILITY PURPOSES)
- [3] PROPOSED PUBLIC WATER EASEMENT TO THE SAN DIEGO WATER DISTRICT
- [4] PROPOSED PEDESTRIAN ACCESS EASEMENT FOR THE BENEFIT OF ALL LOTS
- [5] PROPOSED EASEMENT GRANTED TO SD&E
- [6] PROPOSED PRIVATE OPEN SPACE EASEMENT FOR STORM WATER POLLUTION AND FLOOD CONTROL PURPOSES
- [7] PROPOSED GENERAL UTILITY EASEMENT
- [8] PROPOSED PRIVATE INGRESS/EGRESS, DRAINAGE, AND UTILITY EASEMENT FOR THE BENEFIT OF LOTS 11 & 12
- [9] PROPOSED PUBLIC SEWER EASEMENT TO THE CARDIFF SANITARY DIVISION
- [10] PROPOSED MAINTENANCE AND ACCESS EASEMENT TO THE HOA
- [11] PROPOSED PUBLIC PEDESTRIAN ACCESS EASEMENT TO THE CITY OF ENCINITAS

ZONE REQUIREMENTS	R-3	LOT 1 (AFF)	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15 (AFF)	LOT 16	LOT 17 (AFF)	LOT 18	LOT 19	LOT 20	LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27	LOT 28	LOT 29	LOT 30	
NET LOT AREA (SF)	14,500	14,556	7,798	6,864	8,597	6,840	7,493	7,382	7,513	7,514	12,242	12,628	7,238	6,443	6,717	5,075	6,202	4,434	12,275	11,336	9,278	6,941	7,070	7,332	7,142	7,928	8,991	6,243	7,161	6,745	8,289	
LOT WIDTH (FT)	80	139	75	66	76	52	54	53	54	54	77	87	65	60	65	49	60	49	81	85	73	66	52	54	52	54	54	63	71	67	80	
LOT DEPTH (FT)	100	104	104	105	115	131	138	139	139	139	125	135	111	107	103	104	102	91	144	167	106	106	137	136	138	148	162	100	101	101	102	
FRONT YARD SETBACK	25	25	25	25	25	22'	25	25	25	25	25	25	25	20'	25	20'	25	15	25	25	25	25	25	25	25	25	25	20'	20'	20'	20'	
SIDE YARD SETBACK	10'/10	5'/10	5'/5	5'/5	6'/5	5'/5	5'/5	5'/6	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	10'/5	5'/10	10'/5	10'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	5'/5	15'/5	
REAR YARD SETBACK	25	22	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	15	25	25	25	25	25	25	25	25	25	25	25	25	25	
PLAN TYPE	-	PLAN 1	PLAN 7	PLAN 5	PLAN 7	PLAN 6	PLAN 3	PLAN 6	PLAN 3	PLAN 6	PLAN 7	PLAN 7	PLAN 5	PLAN 4A	PLAN 5	PLAN 1	PLAN 4A	PLAN 1	PLAN 7	PLAN 7	PLAN 5	PLAN 4	PLAN 6	PLAN 3	PLAN 6	PLAN 3	PLAN 6	PLAN 4A	PLAN 2	PLAN 5	PLAN 4	
BUILDING FOOTPRINT	-	2,071	2,850	2,383	2,850	2,528	3,446	2,528	3,446	2,528	2,850	2,850	2,383	2,272	2,383	2,071	2,272	2,071	2,850	2,850	2,383	2,218	2,528	3,446	2,528	3,446	2,528	2,272	3,004	2,383	2,218	
LOT COVERAGE	35%	14.2%	36.5%	34.7%	33.2%	36.9%	45.9%	34.2%	45.8%	33.6%	23.3%	22.6%	32.9%	35.3%	35.5%	40.8%	36.6%	46.7%	23.2%	25.1%	25.7%	32.0%	35.8%	47.0%	35.4%	43.5%	28.1%	36.4%	41.9%	35.3%	26.8%	
MAX BUILDING HEIGHT (TOP)	**26'	26'-0"	26'-11"	26'-0"	25'-10"	25'-11"	26'-0"	26'-0"	22'-9"	25'-11.5"	28'-10"	28'-10"	26'-0"	25'-11.5"	26'-0"	20'-8.5"	26'-0"	24'-11"	28'-5"	30'-0"	26'-0"	26'-0"	26'-0"	26'-0"	25'-10"	25'-11"	25'-4.5"	26'-0"	25'-11.5"	20'-11"	26'-0"	26'-0"
BUILDING HEIGHT (EXT. WALL)	**22	15'-7"	24'-0"	22'-0"	21'-7"	21'-8"	13'-10"	21'-10"	13'-9"	20'-9.5"	27'-3"	24'-4"	20'-10"	20'-8"	20'-9.5"	12'-6"	21'-4.5"	14'-0"	29'-9"	28'-5"	20'-10"	20'-8"	21'-10"	13'-5.5"	20'-8"	13'-5"	20'-9.5"	20'-8"	12'-11.5"	20'-9.5"	21'-4.5"	

█ = REQUEST WAIVER OF DEVELOPMENT STANDARD UNDER DENSITY BONUS

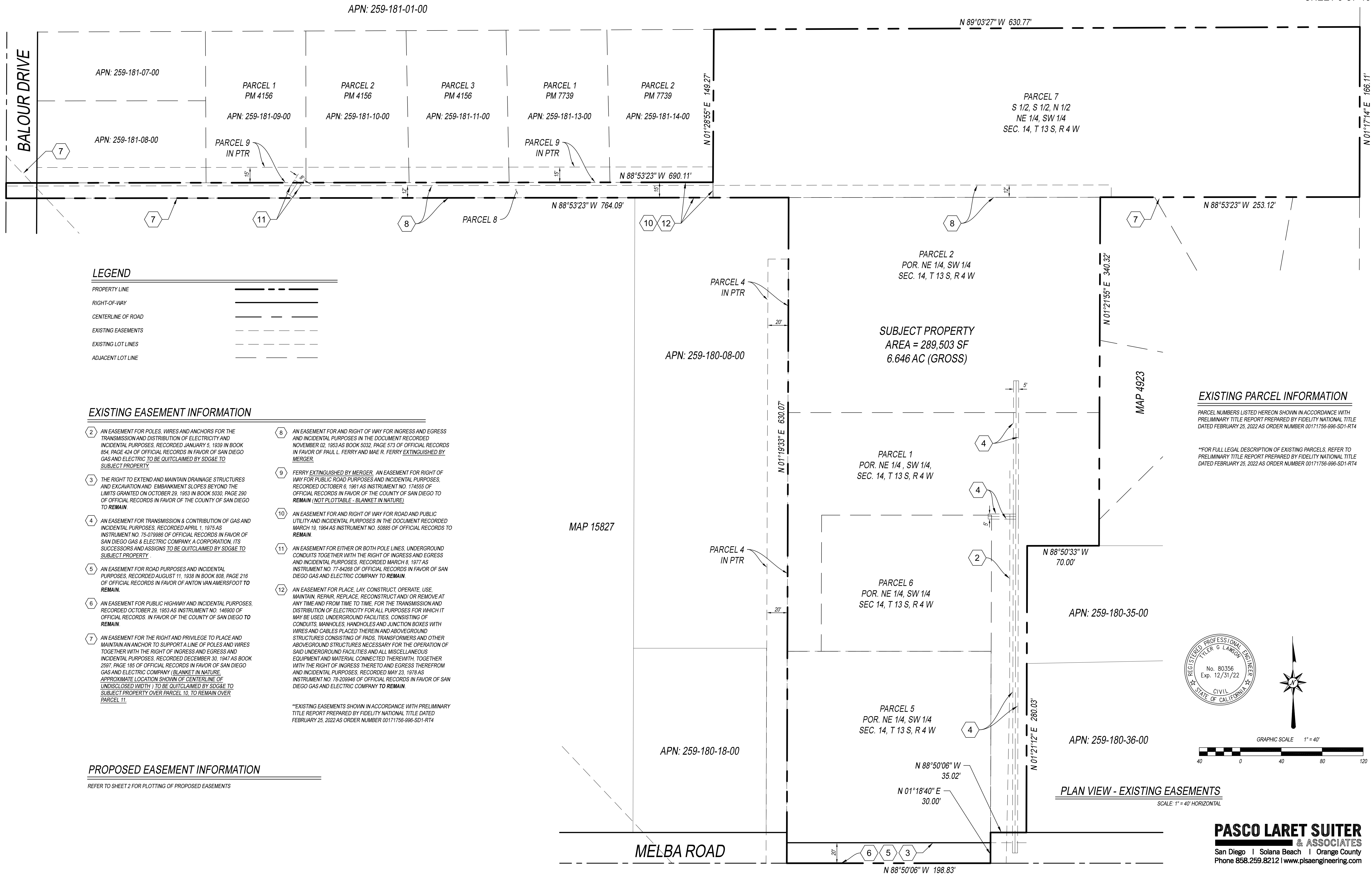
\* = FOR A NEW TRACT, FRONT YARD SETBACKS MAY BE REDUCED UP TO 25% ON A MAXIMUM OF ONE-HALF OF THE DWELLING UNITS WITHIN A RESIDENTIAL TRACT PER E.M.C. 30.16.010 B11C. PROJECT PROPOSES 7 LOTS / 30 LOTS WITH REDUCED FYSB = 23.3%

\*\* = PER EMC 30.16.010, BUILDING HEIGHT IN R-3 ZONE SHALL BE 22-FT FROM ADJACENT GRADE TO TOP OF ROOF ABOVE EXTERIOR WALL, WITH AN ADDITIONAL 4-FT ALLOWED FOR ROOF PITCH. APPLICANT REQUESTS TO USE WAIVER AND INCENTIVE OF BUILDING HEIGHT AS LISTED ABOVE, NOT TO EXCEED 30-FT

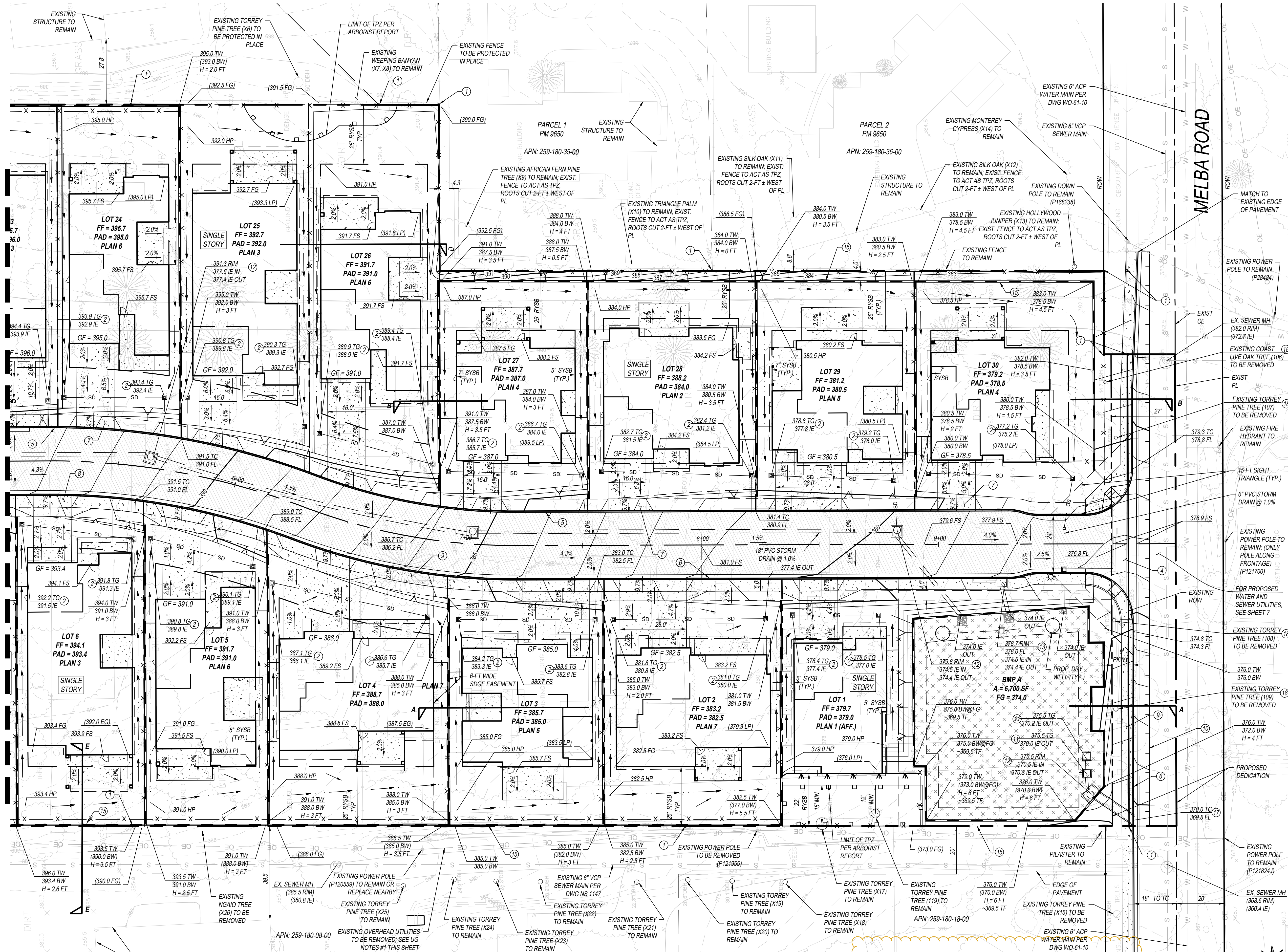


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## LEGEND

EXISTING SUBDIVISION BOUNDARY (PL)	---
CENTERLINE OF ROAD	---
RIGHT-OF-WAY	---
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED FLOWLINE	---
PROPOSED DIRECTION OF FLOW	---
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	---
PROPOSED LIMIT OF GRADING	---
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	---
PROPOSED PCC PAVEMENT	---
PROPOSED AC PAVEMENT (4" AC OVER 6" CLASS II AS MIN OR PER GEOTECH RECOMMENDATION)	---
PROPOSED BMP BIOFILTRATION BASIN PER DETAIL SHEET 9	---
PROPOSED MASONRY RETAINING WALL	---
PROPOSED 6"x16" FLUSH CURB	---
EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	---
EXISTING TREE	---
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	---
"DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	---

## CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED.
- PROPOSED 12" X 12" AREA DRAIN
- PROPOSED 6" TRAFFIC RATED PRIVATE STORM DRAIN CLEANOUT
- PROPOSED PCC CROSS-GUTTER PER SDRSD G-12
- PROPOSED 6" PCC CURB PER SDRSD G-1
- PROPOSED 6" PCC CURB AND GUTTER PER SDRSD G-2
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14C
- PROPOSED PCC SIDEWALK PER SDRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 7
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE
- PROPOSED TYPE A STORM DRAIN CLEANOUT PER SDRSD D-09
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- PROPOSED WING TYPE HEADWALL WITH 4" X 4" ROCK RIP RAP ENERGY DISSIPATER, 1.1" THICK, NO. 2 BACKING PER SDRSD D-34, D-40
- PROPOSED MASONRY RETAINING WALL
- PROPOSED TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED CURB OUTLET PER SDRSD D-25
- EXISTING TREE TO BE REMOVED; SEE STREET TREE NOTE 1 BELOW AND SHEET 12 FOR ADDITIONAL INFORMATION
- PROPOSED FREE-STANDING MASONRY WALL (NON-RETAINING)

## SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION. FOR PROPOSED PUBLIC WATER AND SEWER UTILITIES, SEE SHEET 7 FOR PRELIMINARY UTILITY PLAN
- ALL EXISTING ONSITE STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
- ALL EXISTING ONSITE TREES TO BE REMOVED UNLESS OTHERWISE NOTED.
- HARDSCAPE SHALL DRAIN AWAY FROM PROPOSED STRUCTURES AT A MINIMUM OF 2.0% FOR 10 FEET, AND LANDSCAPE FOR A MINIMUM OF 5.0% IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE SECTION 1804.4.

## PROPOSED EASEMENTS / DEDICATIONS

"SEE SHEET 2 FOR PROPOSED EASEMENTS AND DEDICATIONS"

## UG NOTES

- EXISTING OVERHEAD UTILITIES TO BE REMOVED ALONG WESTERN PL BETWEEN POLE P121824J AND P120556 AND ON NORTHERN PL OF 1210 MELBA ROAD BETWEEN P120556 AND P120555. NEW UNDERGROUND SERVICE VIA PROJECT TO P120559 AND P120558 TO BE ADDED. OVERHEAD SERVICE FROM P120558 TO 1210 MELBA ROAD BARN TO REMAIN AND OVERHEAD SERVICE FROM P120559 TO 1210 MELBA RESIDENCE TO REMAIN.

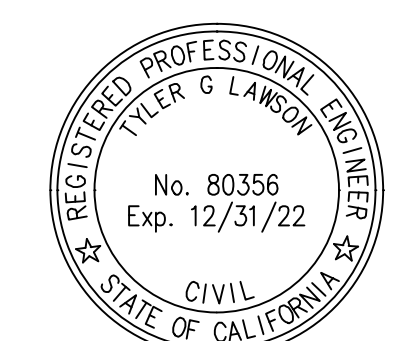
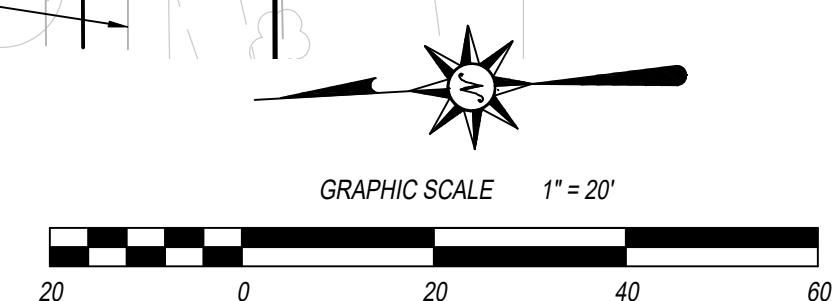
## PLAN VIEW - PRELIMINARY GRADING PLAN

SCALE: 1" = 20' HORIZONTAL

All City tree work needs approval by the City Arborist as well as UFAC

## STREET TREE NOTE

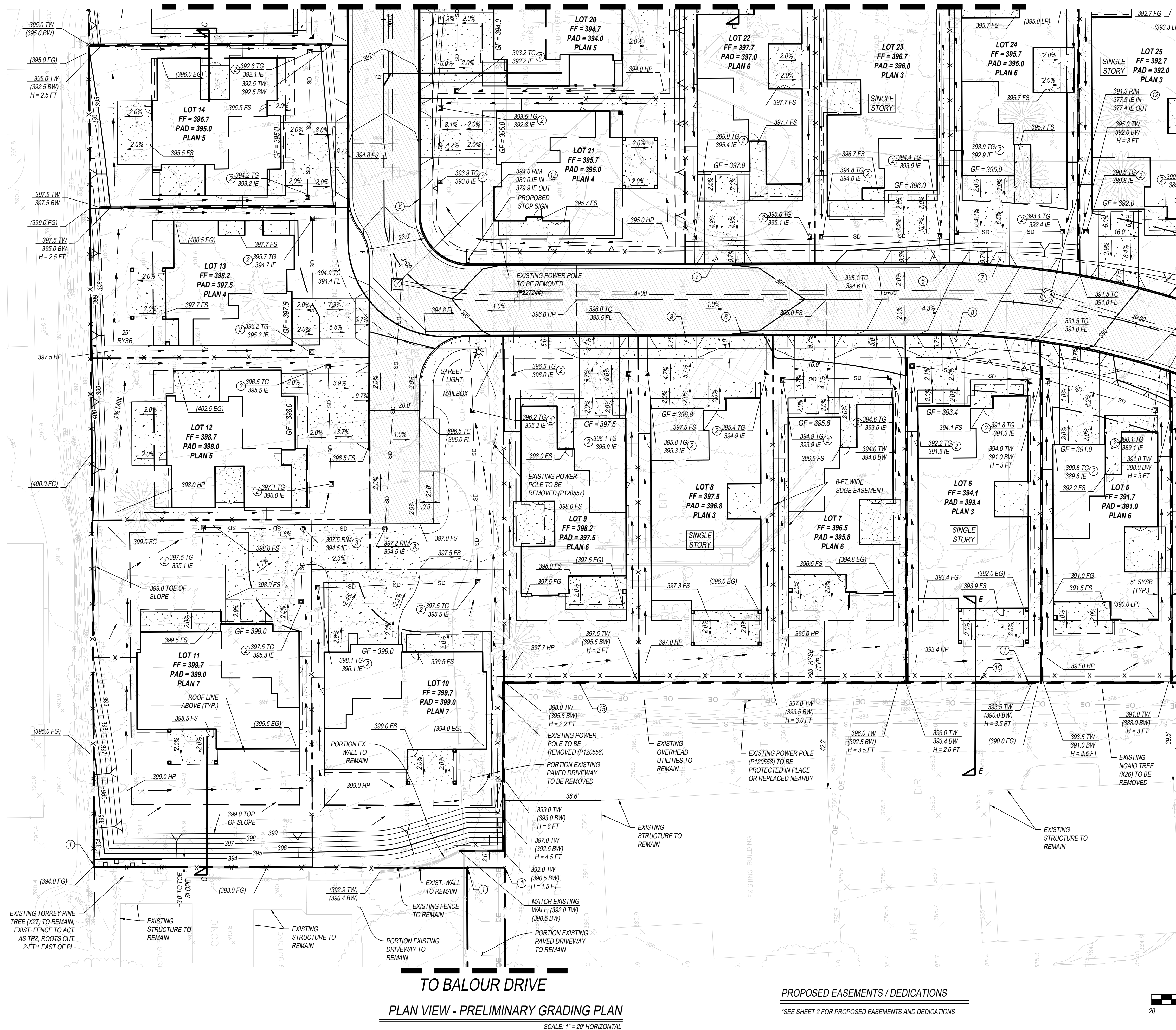
- SEE SHEET 12 FOR MELBA ROAD FRONTAGE OPTION "B". TREES 108, 107, 108, 109, X15 AND X16 TO REMAIN AND BE PROTECTED IN PLACE FOR MELBA ROAD FRONTAGE OPTION "B". REFER TO SEPARATE ARBORIST REPORT FOR RECOMMENDATIONS WITHIN THE TREE PROTECTION ZONE (TPZ) FOR THE EXISTING TREES ON PRIVATE PROPERTY AND ALONG PROPERTY BOUNDARY TO BE PROTECTED IN PLACE



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MATCHLINE: SEE SHEET 6



## LEGEND

EXISTING SUBDIVISION BOUNDARY	---
CENTERLINE OF ROAD	---
RIGHT-OF-WAY	---
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED FLOWLINE	---
PROPOSED DIRECTION OF FLOW	---
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	---
PROPOSED LIMIT OF GRADING	---
PROPOSED STEM WALL / PORTION OF BUILDING TO RETAIN PER SEPARATE ARCH PLAN	---
PROPOSED DEEPEEN FOOTING PER SEPARATE ARCH PLAN	---
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	---
PROPOSED PCC PAVEMENT	---
PROPOSED AC PAVEMENT (4" AC OVER 6" CLASS II AB MIN OR PER GEOTECH RECOMMENDATION)	---
PROPOSED BMP BIOFILTRATION BASIN PER DETAIL SHEET 9	---
PROPOSED MASONRY RETAINING WALL	---
PROPOSED 6"x16" FLUSH CURB	---
EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	---
EXISTING TREE	---
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	---
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	---

## CONSTRUCTION NOTES

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- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14C
- PROPOSED PCC SIDEWALK PER SDRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 9
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE; SEE BIOFILTRATION BMP DETAIL SHEET 9
- PROPOSED TYPE A STORM DRAIN CLEANOUT PER SDRSD D-09
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- PROPOSED WING TYPE HEADWALL WITH 4' X 4' ROCK RIP RAP ENERGY DISSIPATOR, 1.1' THICK, NO. 2 BACKING PER SDRSD D-34, D-40
- PROPOSED MASONRY RETAINING WALL
- PROPOSED TRENCH DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED CURB OUTLET PER SDRSD D-25

## SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION. FOR PROPOSED PUBLIC WATER AND SEWER UTILITIES, SEE SHEET 7 FOR PRELIMINARY UTILITY PLAN
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SEE CONTINUATION SHEET 5

SEE CONTINUATION SHEET 4

PLAN VIEW - PRELIMINARY GRADING PLAN

SCALE: 1" = 20' HORIZONTAL

PROPOSED EASEMENTS / DEDICATIONS

\*SEE SHEET 2 FOR PROPOSED EASEMENTS AND DEDICATIONS

## LEGEND

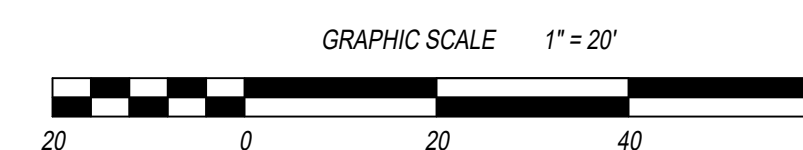
EXISTING SUBDIVISION BOUNDARY	---
CENTERLINE OF ROAD	---
RIGHT-OF-WAY	---
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED FLOWLINE	---
PROPOSED DIRECTION OF FLOW	---
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	---
PROPOSED LIMIT OF GRADING	---
PROPOSED STEM WALL / PORTION OF BUILDING TO RETAIN PER SEPARATE ARCH PLAN	---
PROPOSED DEEPEENED FOOTING PER SEPARATE ARCH PLAN	---
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	---
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EXISTING CITY INVENTORIED STREET TREE IN CURRENT PUBLIC RIGHT-OF-WAY	---
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LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	---
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	---

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- PROPOSED PCC CROSS-GUTTER PER SDRSD G-12
- PROPOSED 6" PCC CURB PER SDRSD G-1
- PROPOSED 6" PCC CURB AND GUTTER PER SDRSD G-2
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14A
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14C
- PROPOSED PCC SIDEWALK PER SDRSD G-7
- SAWCUT EXISTING AC PAVEMENT; SEE DETAIL ON SHEET 9
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE
- PROPOSED TYPE A STORM DRAIN CLEANOUT PER SDRSD D-09
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- PROPOSED WING TYPE HEADWALL WITH 4' X 4' ROCK RIP RAP ENERGY DISSIPATER; 1.1' THICK, NO. 2 BACKING PER SDRSD D-34, D-40
- PROPOSED MASONRY RETAINING WALL
- PROPOSED 6" TRENCH DRAIN BY NDS OR APPROVED EQUAL

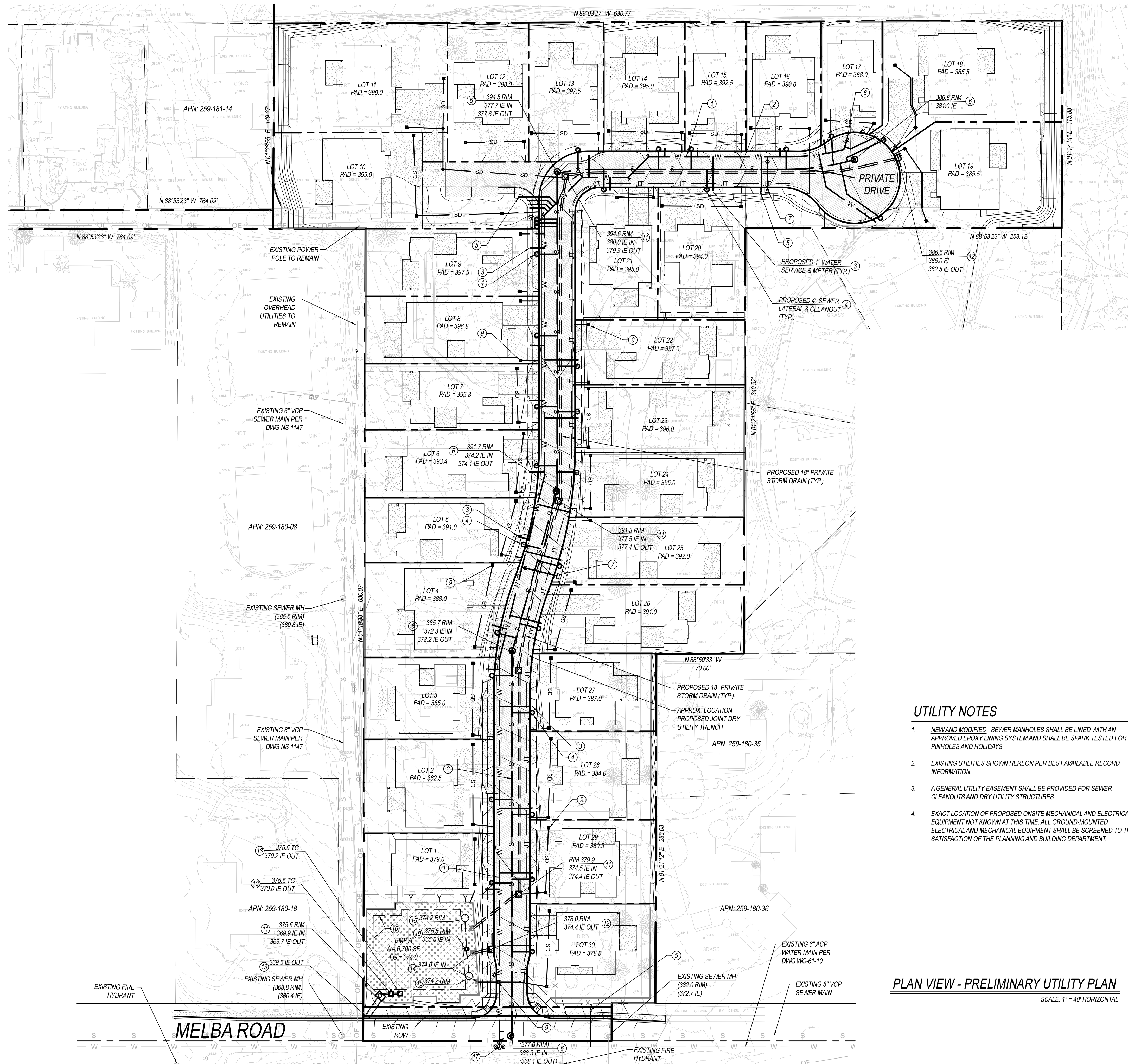
## SITE NOTES

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## LEGEND

SUBDIVISION BOUNDARY	---
SUBDIVISION BOUNDARY (PROPOSED AFTER RIGHT-OF-WAY DEDICATION)	---
EXISTING RIGHT-OF-WAY	---
ADJACENT PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED EASEMENT	---
EXISTING EASEMENT	---
EXISTING CONTOUR LINE	64
PROPOSED CONTOUR LINE	64
PROPOSED LIMIT OF GRADING	▼ ▼ ▼
EXISTING WATER MAIN (SIZE PER PLAN)	W W
EXISTING SEWER MAIN (SIZE PER PLAN)	S S
PROPOSED 8" PVC WATER MAIN	W W
PROPOSED 8" PVC SEWER MAIN	S S
PROPOSED 1" WATER SERVICE AND METER PER WAS WS-09	W W
PROPOSED 4" SEWER LATERAL PER SDRSD SS-01	S S
PROPOSED 4" PVC STORM DRAIN	SD SD
PROPOSED 3" PVC SIDEWALK UNDERDRAIN	---
PROPOSED PVC STORM DRAIN (SIZE PER PLAN)	---

## UTILITY CONSTRUCTION NOTES

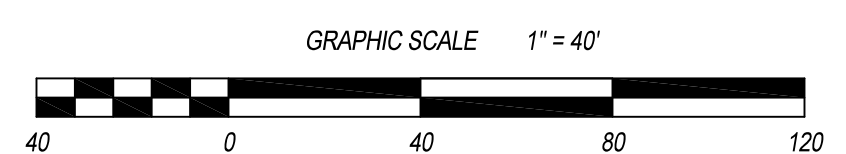
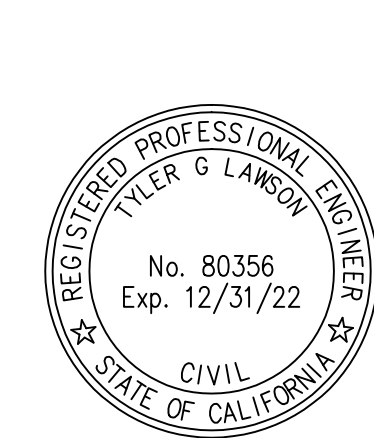
- PROPOSED PUBLIC 8" PVC WATER MAIN
- PROPOSED PUBLIC 8" PVC SEWER MAIN
- PROPOSED 1" DUAL DOMESTIC / FIRE WATER SERVICE PER WAS WS-09
- PROPOSED 4" PVC SEWER LATERAL PER SDRSD SS-01 WITH C.O. AT PL
- PROPOSED 1" IRRIGATION SERVICE, METER, AND BACKFLOW PER WAS WS-01, WR-01
- PROPOSED 60" SEWER MANHOLE WITH EPOXY LINER PER SDRSD SM-02
- PROPOSED FIRE HYDRANT PER WAS WF-01
- PROPOSED VM END CAP THRUST BLOCK, AND 2" B.O. ASSEMBLY
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE WITH ORIFICE PLATE DRILLED TO INSIDE OF BOX AND LOW-FLOW ORIFICE; CONNECT DETENTION STORAGE VAULT TO CLEANOUT, SEE BIOFILTRATION BMP DETAIL SHEET 9
- PROPOSED TYPE A-4 STORM DRAIN CLEANOUT PER SDRSD D-09
- PROPOSED TYPE B STORM DRAIN CURB INLET PER SDRSD D-02
- PROPOSED MODIFIED CURB OUTLET PER SDRSD D-25
- PROPOSED WING TYPE HEADWALL FOR 18" PIPE CONCRETE ENERGY DISSIPATER, 2.7" THICK, NO. 2 BACKING PER SDRSD D-34, D-40
- PROPOSED MAXWELL IV DEEP INFILTRATION DRYWELL BY TORRENT RESOURCES OR APPROVED EQUAL
- PROPOSED 4,500 SF X 5.0 FT DEEP PERMAVOID DETENTION SYSTEM, SEE BIOFILTRATION BMP DETAIL SHEET 9
- BEGIN NEW PUBLIC WATER MAIN; CONNECT TO EXISTING 8" ACP WATER MAIN WITH 8" X 8" TEE AND GATE VALVES
- PROPOSED 36" X 36" BROOKS BOX EMERGENCY OVERFLOW STRUCTURE
- PROPOSED CLEANOUT WITH ORIFICE PLATE DRILLED TO INSIDE OF BOX AND LOW-FLOW ORIFICE; CONNECT DETENTION STORAGE VAULT TO CLEANOUT, SEE BIOFILTRATION BMP DETAIL SHEET 9

## UTILITY NOTES

- NEW AND MODIFIED SEWER MANHOLES SHALL BE LINED WITH AN APPROVED EPOXY LINING SYSTEM AND SHALL BE SPARK TESTED FOR PINHOLES AND HOLIDAYS.
- EXISTING UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION.
- A GENERAL UTILITY EASEMENT SHALL BE PROVIDED FOR SEWER CLEANOUTS AND DRY UTILITY STRUCTURES.
- EXACT LOCATION OF PROPOSED ONSITE MECHANICAL AND ELECTRICAL EQUIPMENT NOT KNOWN AT THIS TIME. ALL GROUND-MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT.

## PLAN VIEW - PRELIMINARY UTILITY PLAN

SCALE: 1" = 40' HORIZONTAL

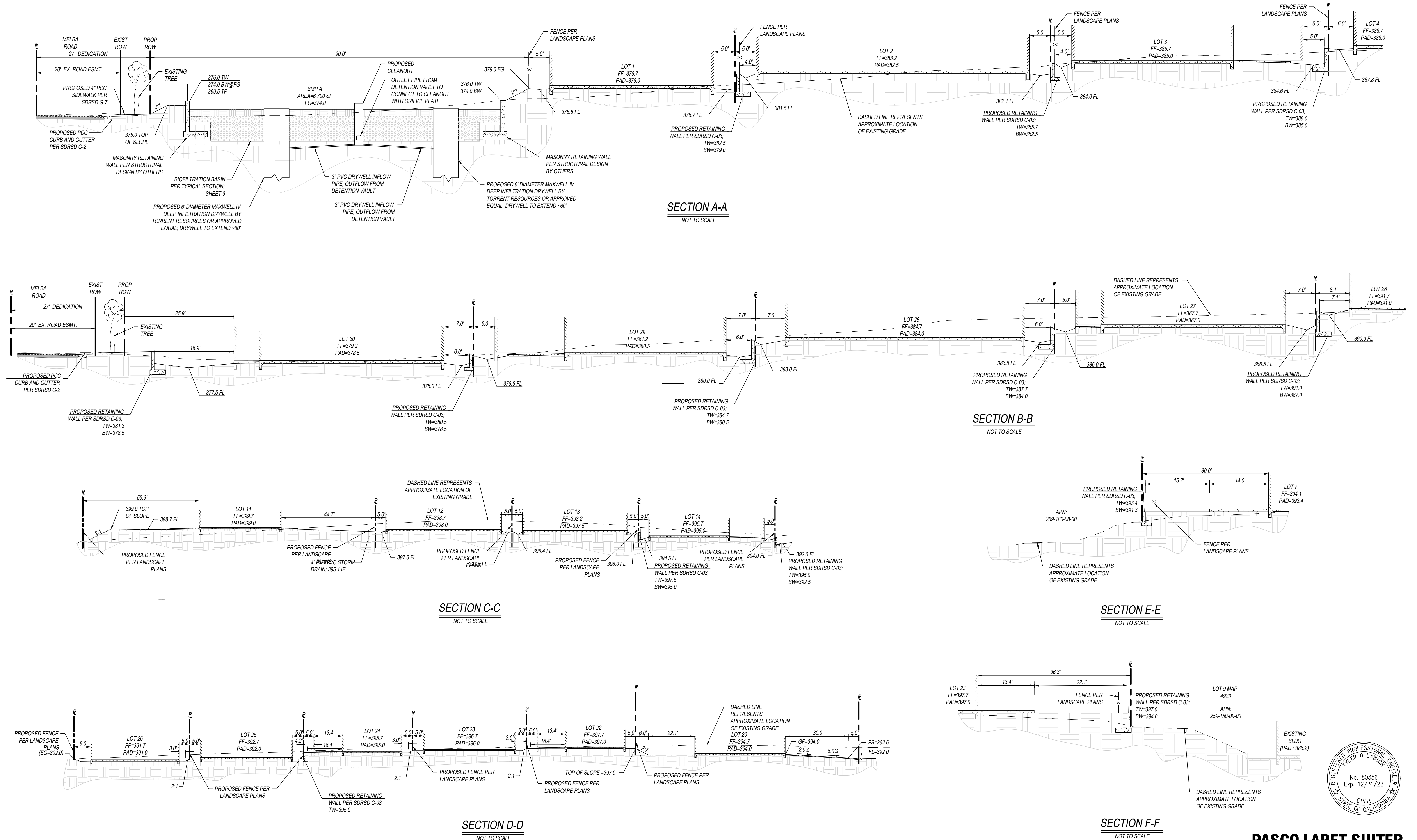


## PRELIMINARY UTILITY EXHIBIT

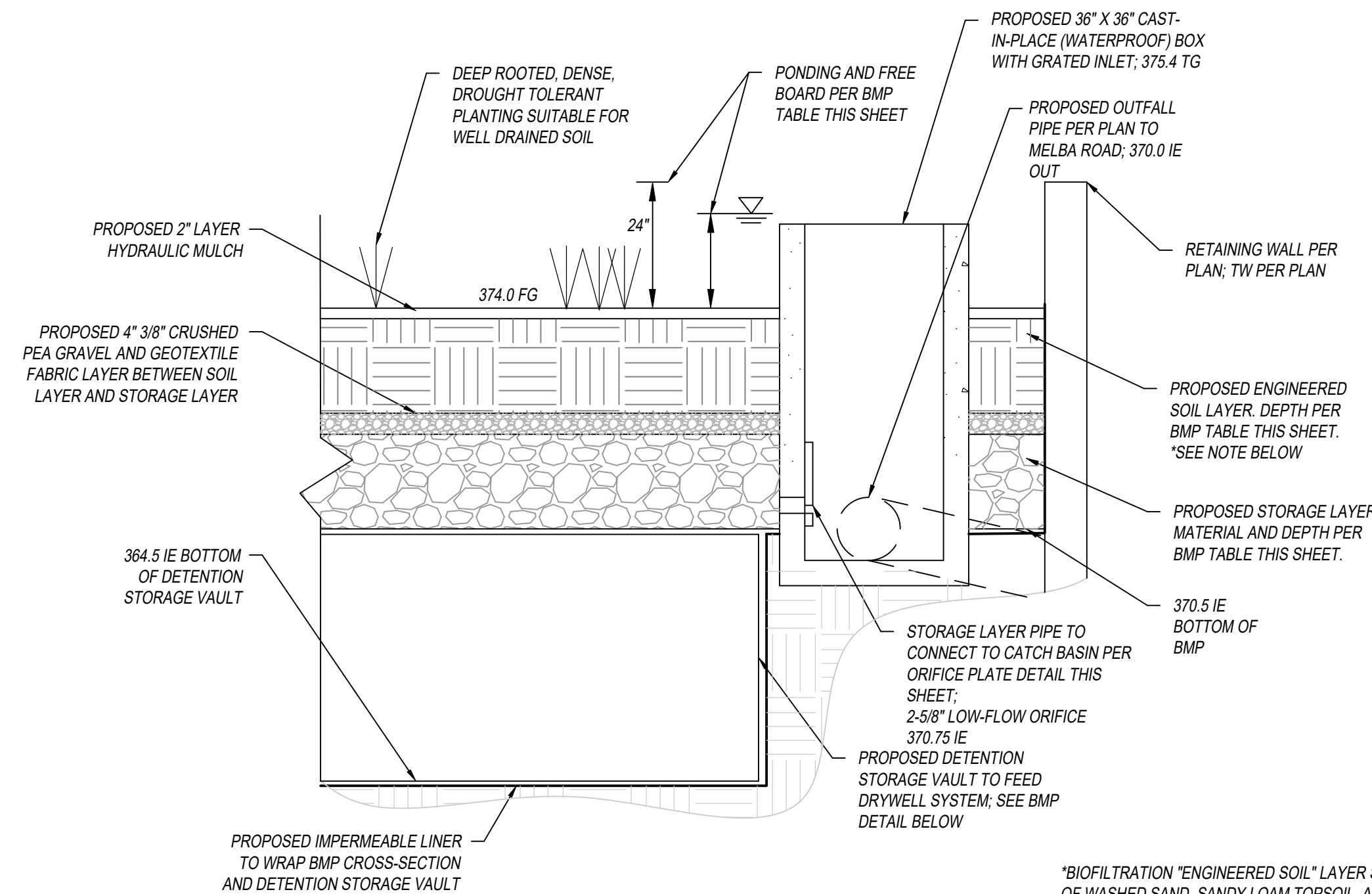
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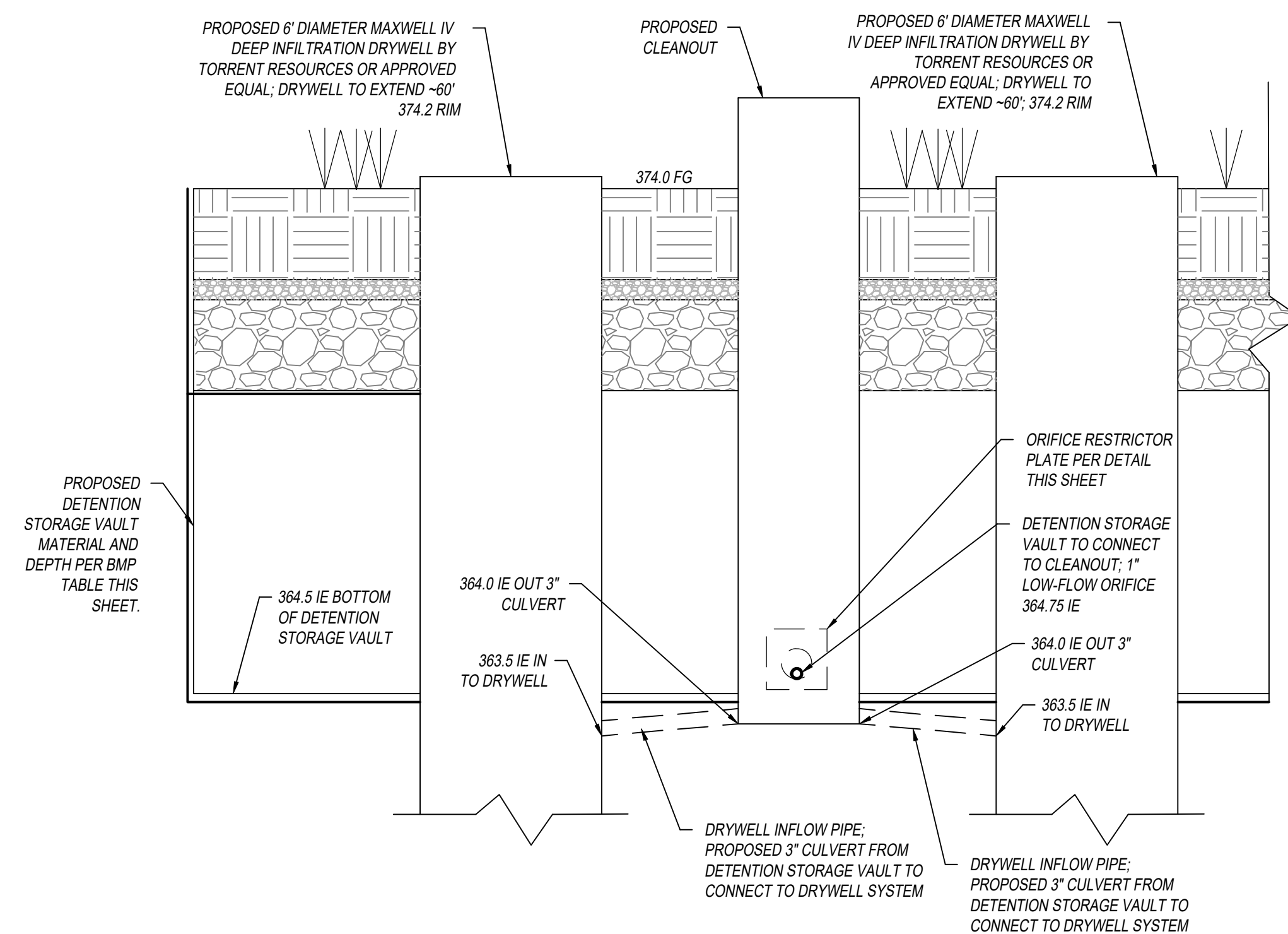


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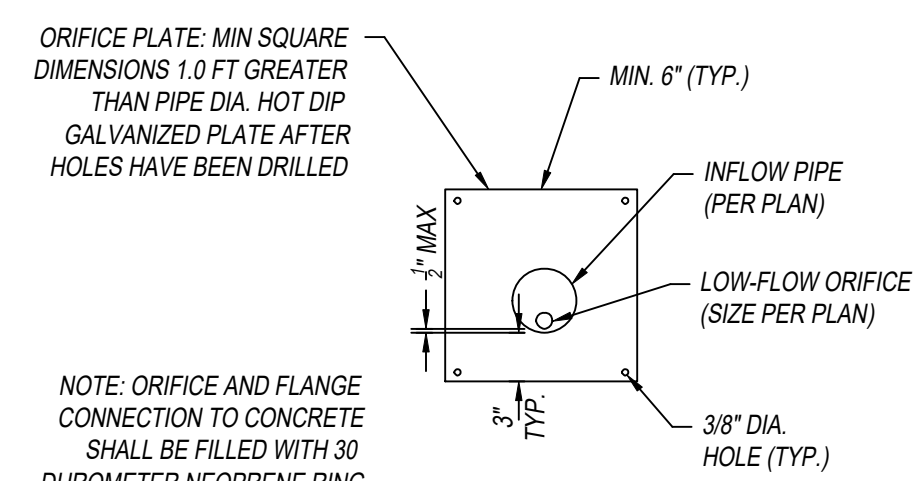
**TYPICAL SECTION - BIOFILTRATION BASIN**

<i>BMP TABLE</i>	
	<i>BMP A</i>
<i>PONDING</i>	<i>16.8"</i>
<i>SOIL</i>	<i>18"</i>
<i>STORAGE TYPE</i>	<i>PERMAVOID (95% VOID RATIO)</i>
<i>STORAGE DEPTH</i>	<i>18"</i>
<i>LOW-FLOW</i>	<i>2-5/8"</i>

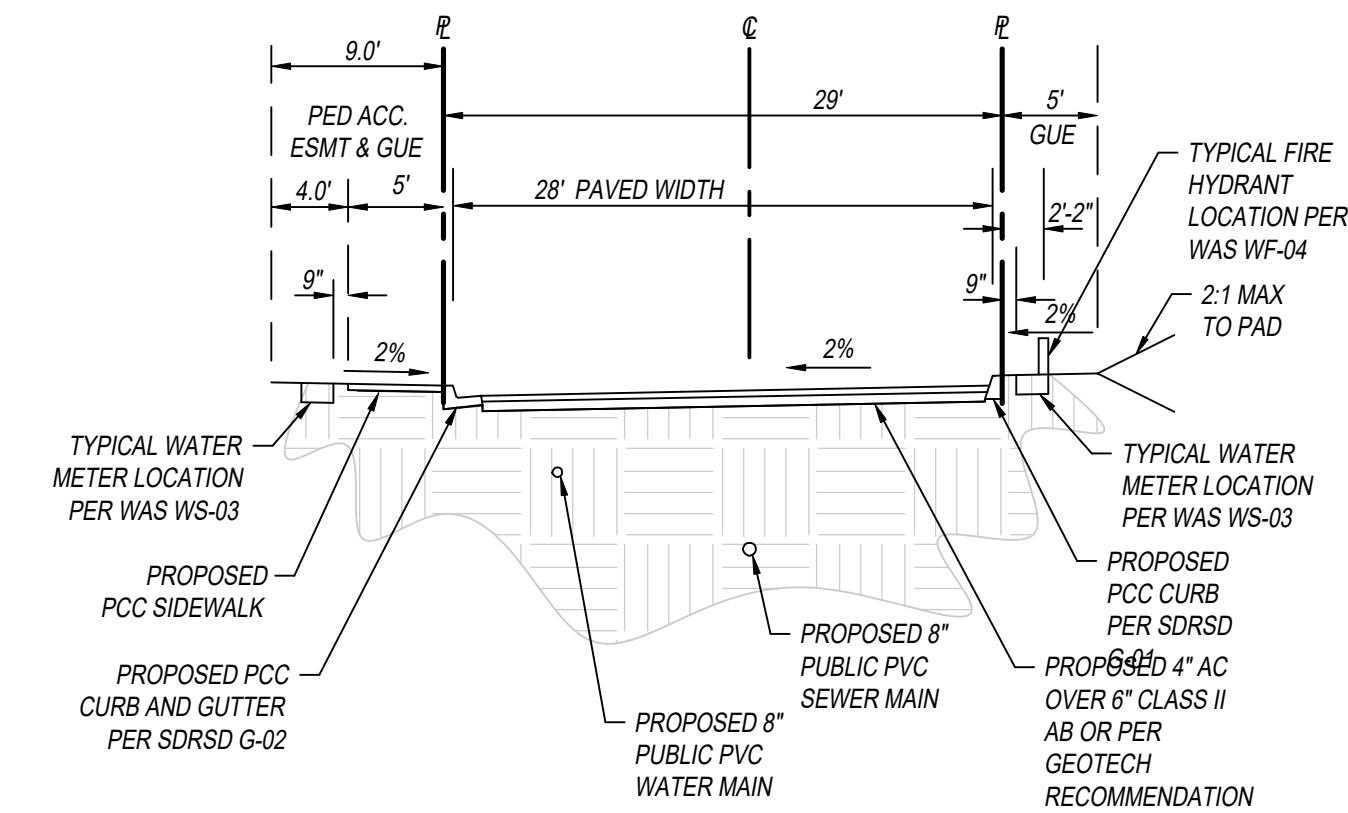


TYPICAL SECTION - BIOFILTRATION BASIN  
NOT TO SCALE

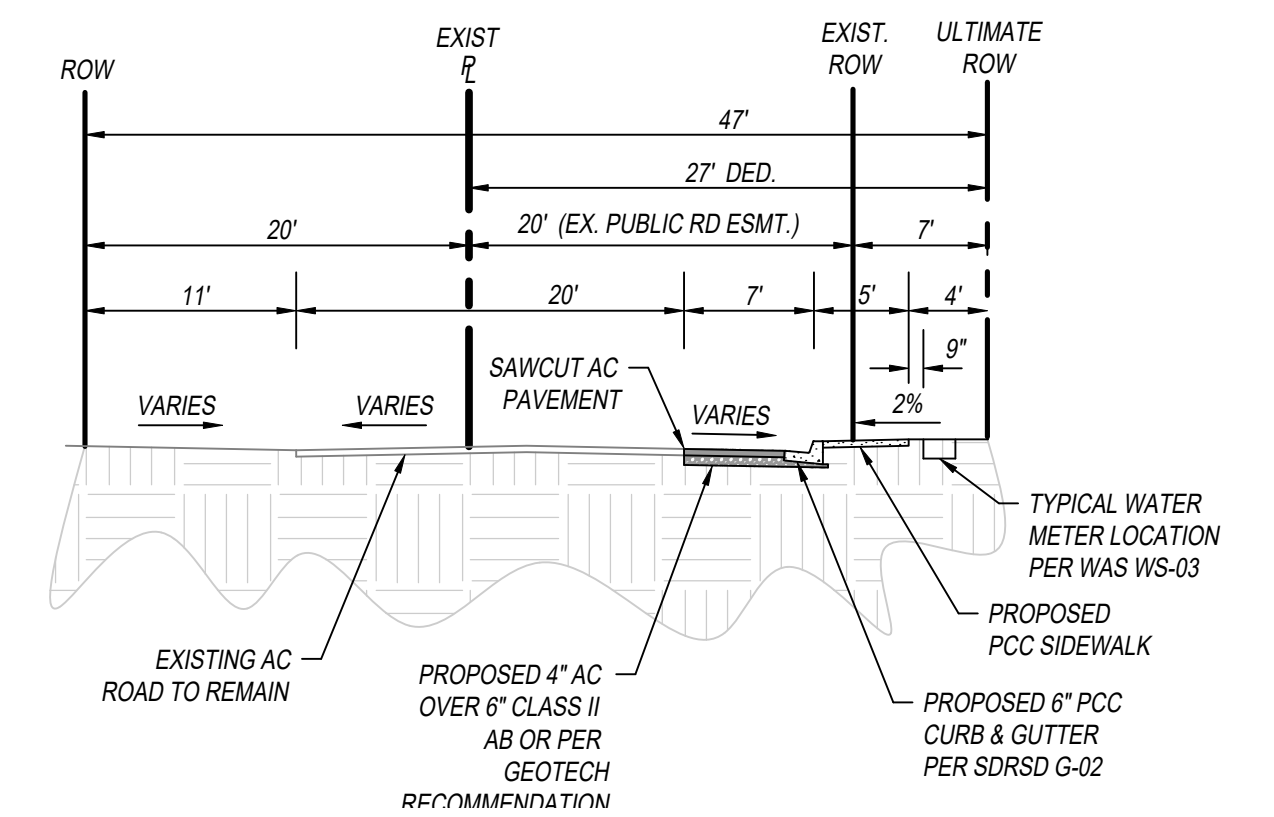
DETENTION TABLE	
	BMP A
STORAGE TYPE	PERMAVOID (95% VOID RATIO)
DETEN. DEPTH	6.0'
LOW-FLOW TO DRYWELLS	1.0"



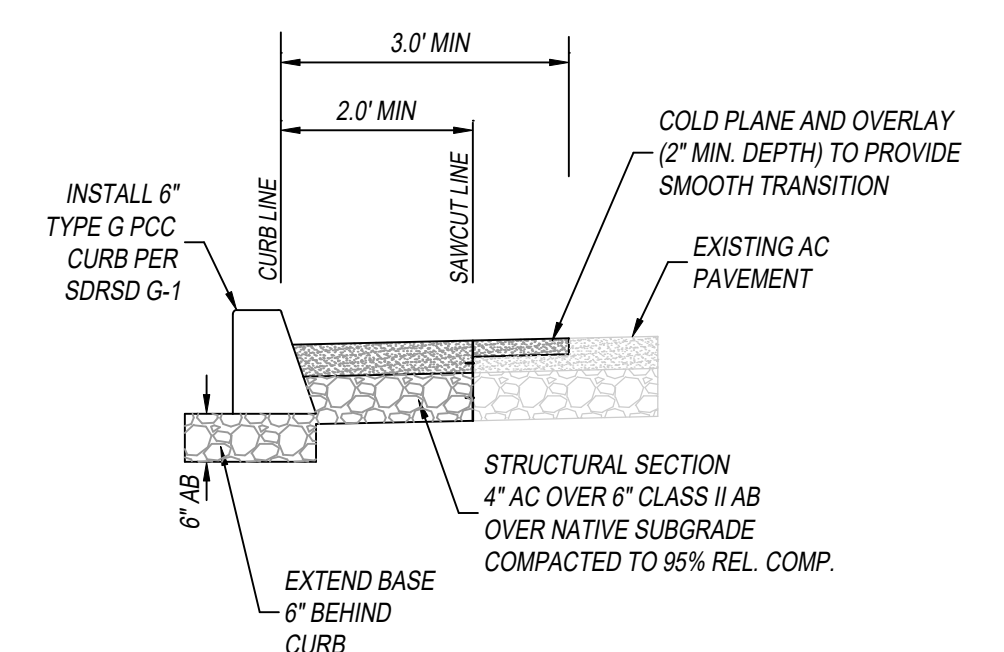
TYPICAL DETAIL - FLOW CONTROL ORIFICE PLATE  
NOT TO SCALE



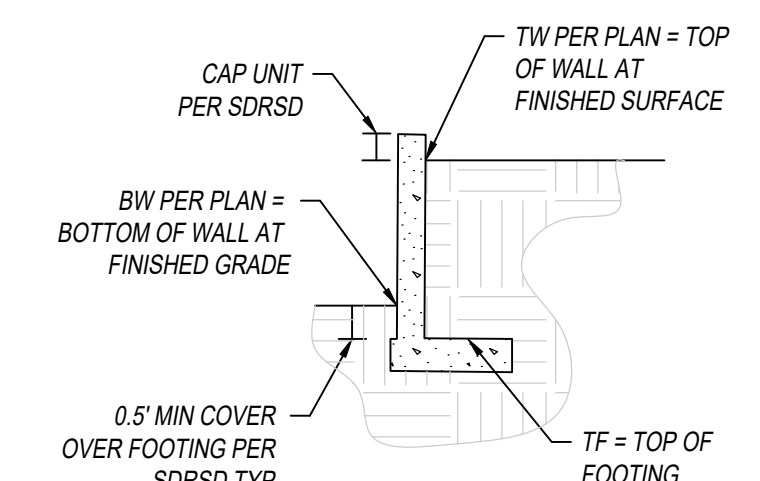
TYPICAL SECTION - PRIVATE ROAD  
NOT TO SCALE



TYPICAL SECTION - MELBA ROAD  
NOT TO SCALE

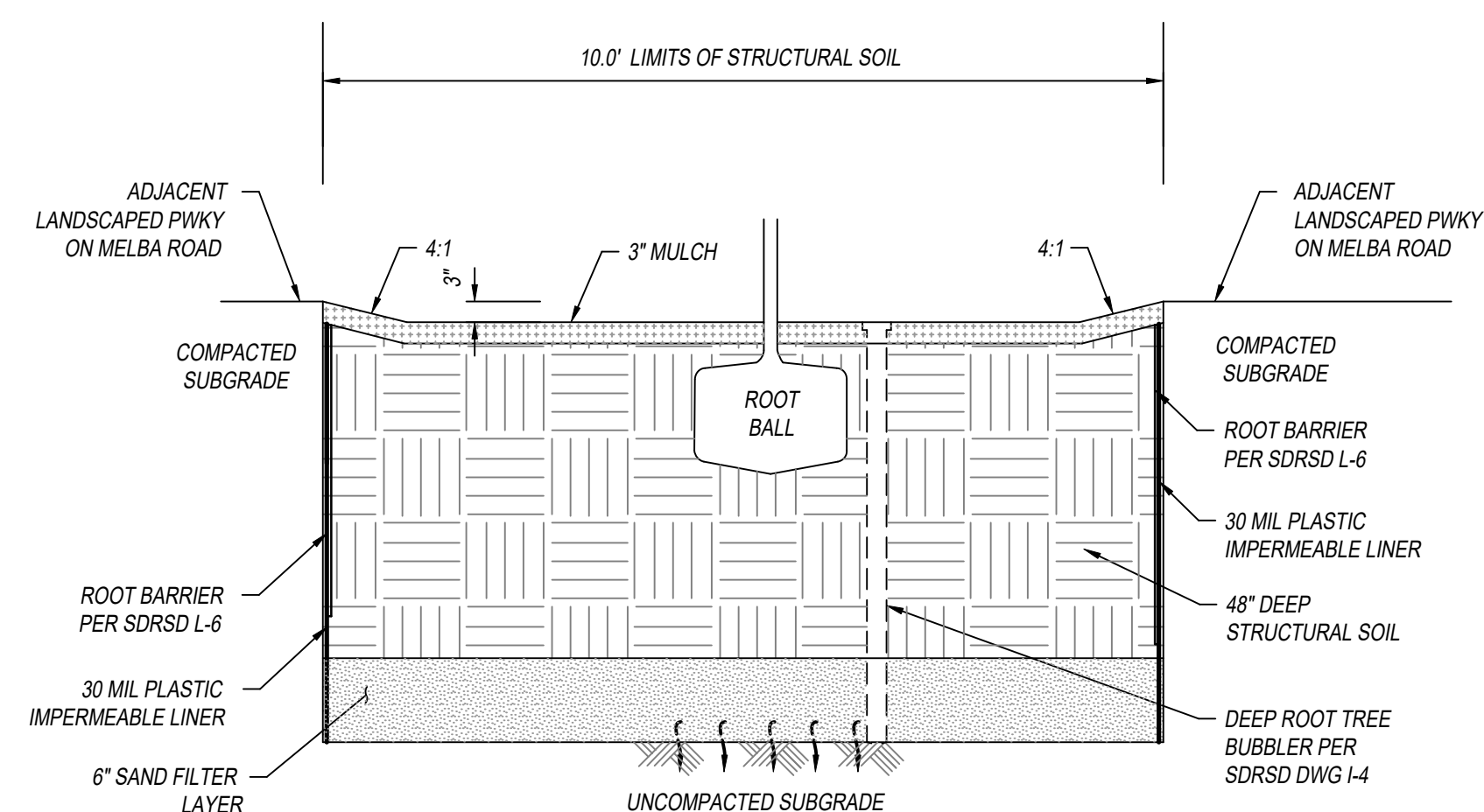


TYPICAL DETAIL - SAWCUT AC PAVEMENT  
NOT TO SCALE

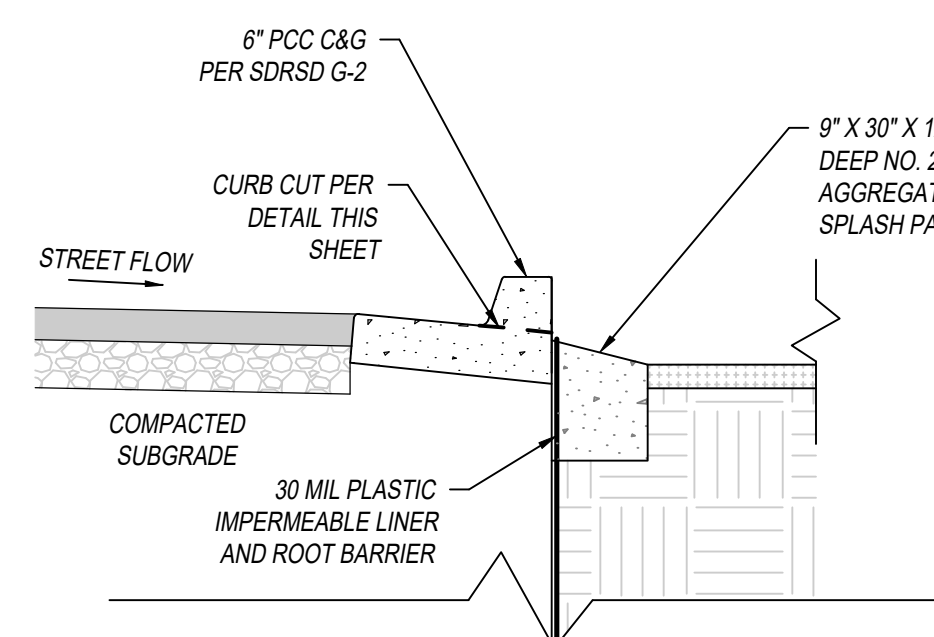


**TYPICAL DETAIL - RETAINING WALL**

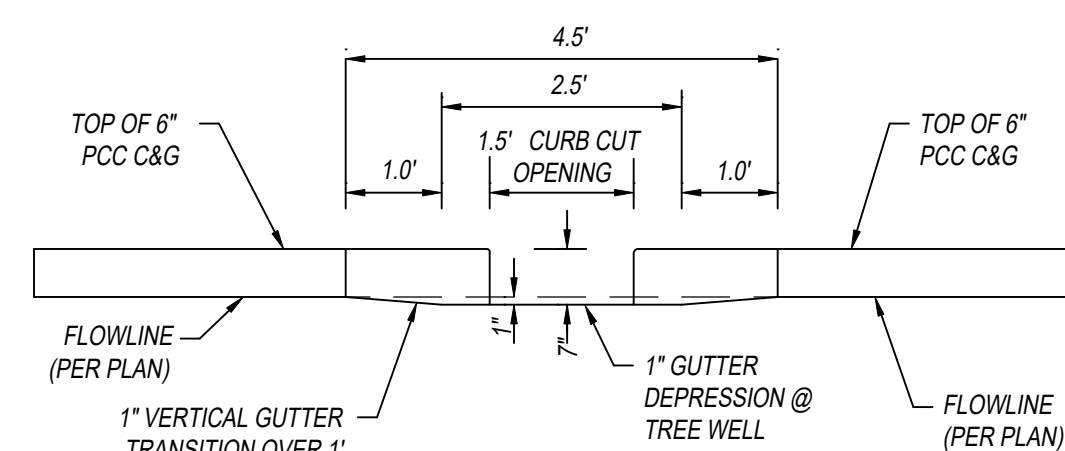
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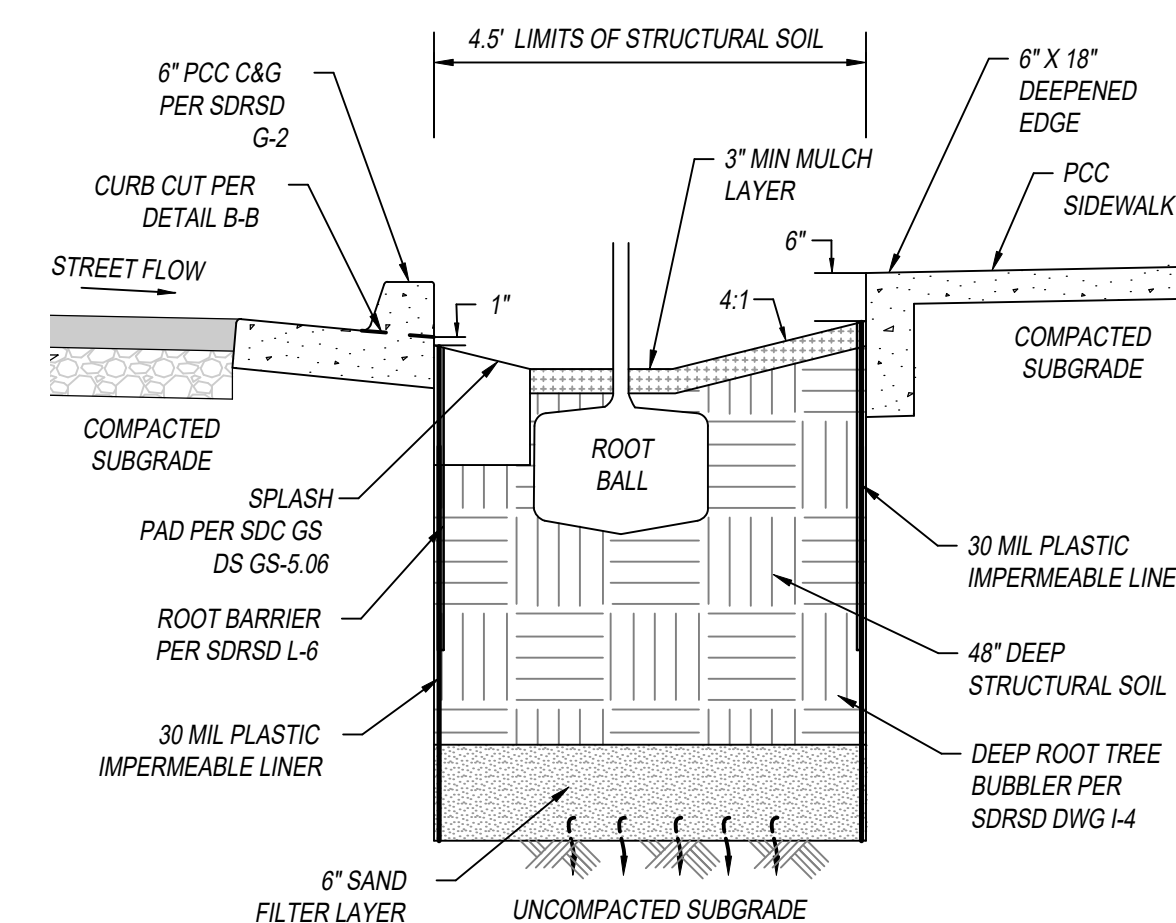
SECTION A-A - TREE WELL W/O GRATE  
MODIFIED SDC GS DS GS-1.04a + GS-1.04b



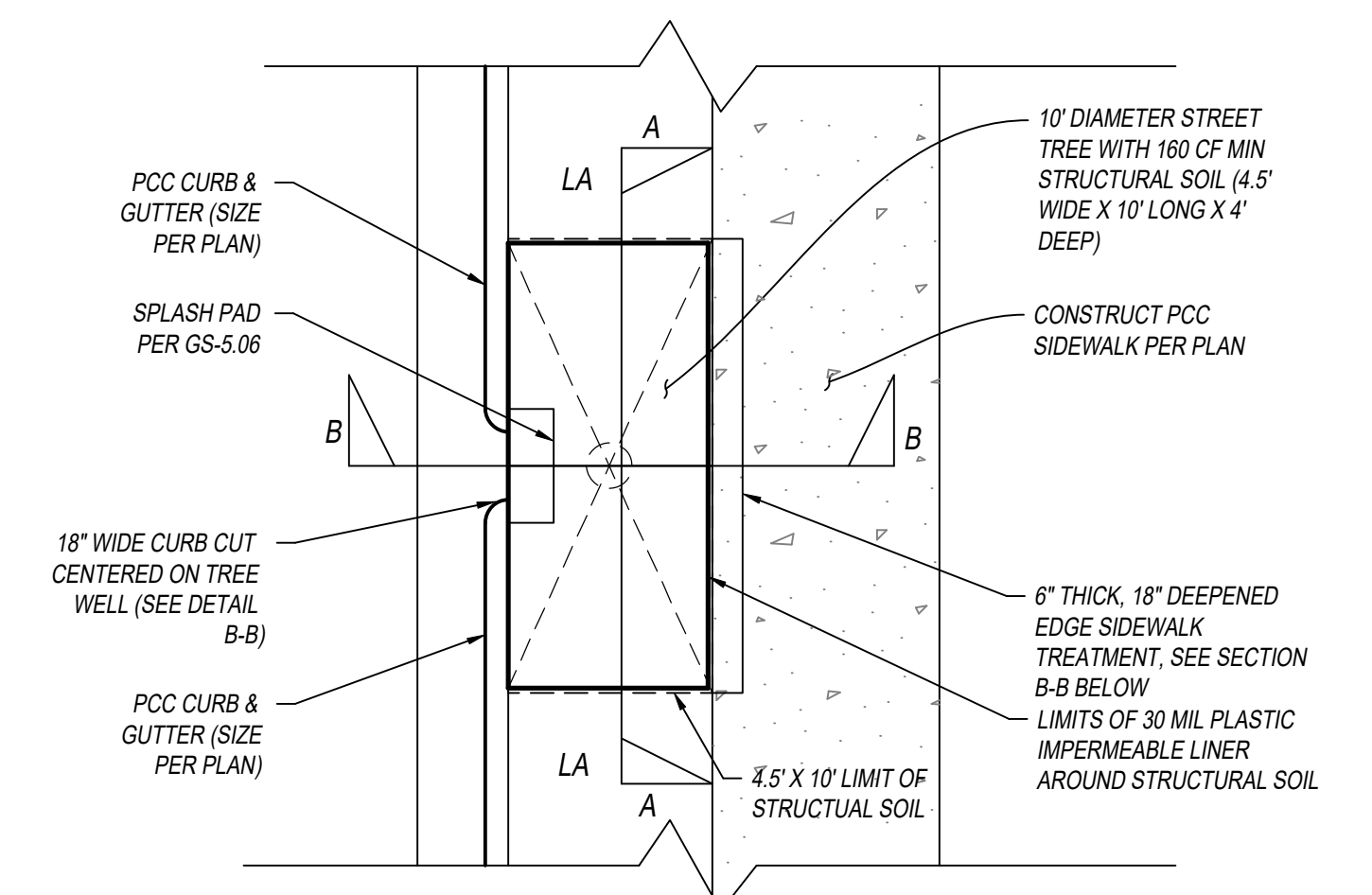
SECTION VIEW - CURB CUT @ TREE WELL  
MODIFIED SDC GS DS GS-5.01



SECTION VIEW - CURB CUT @ TREE WELL  
MODIFIED SDC GS DS GS-5.01



SECTION B-B - TREE WELL W/O GRATE  
MODIFIED SDC GS DS GS-1.04a + GS-1.04b

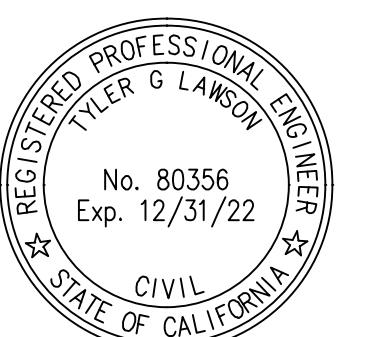


PLAN VIEW - TREE WELL W/O GRATE  
MODIFIED SDC GS DS GS-1.04a + GS-1.04b

---

---

NOT TO SCALE



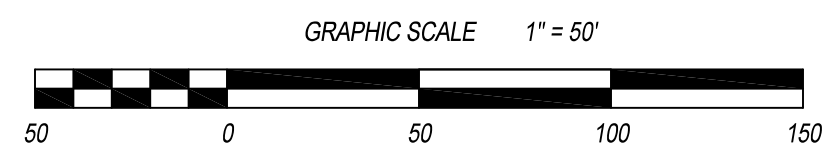
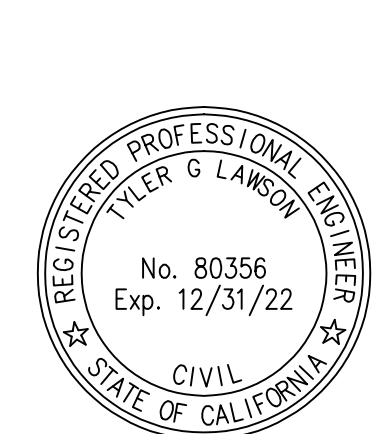
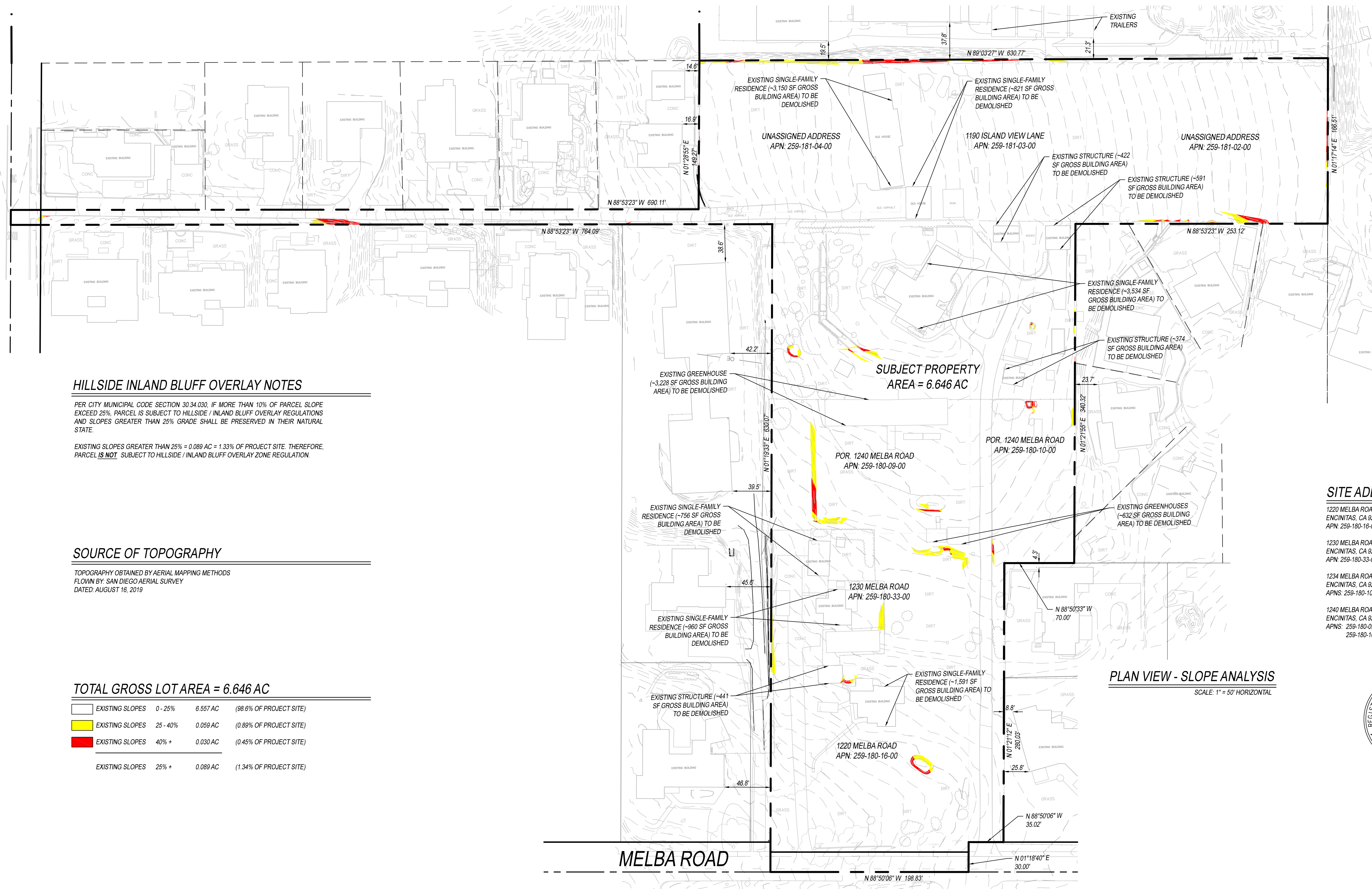
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# SLOPE ANALYSIS

## TORREY CREST

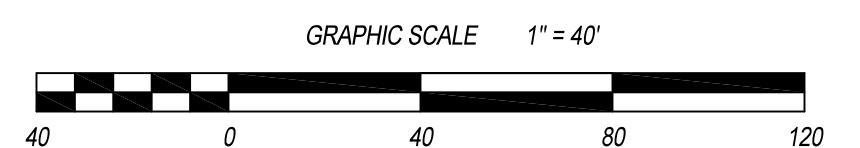
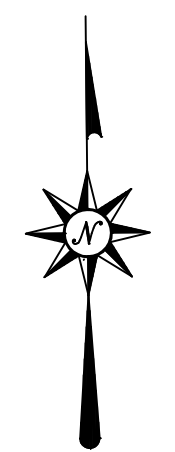
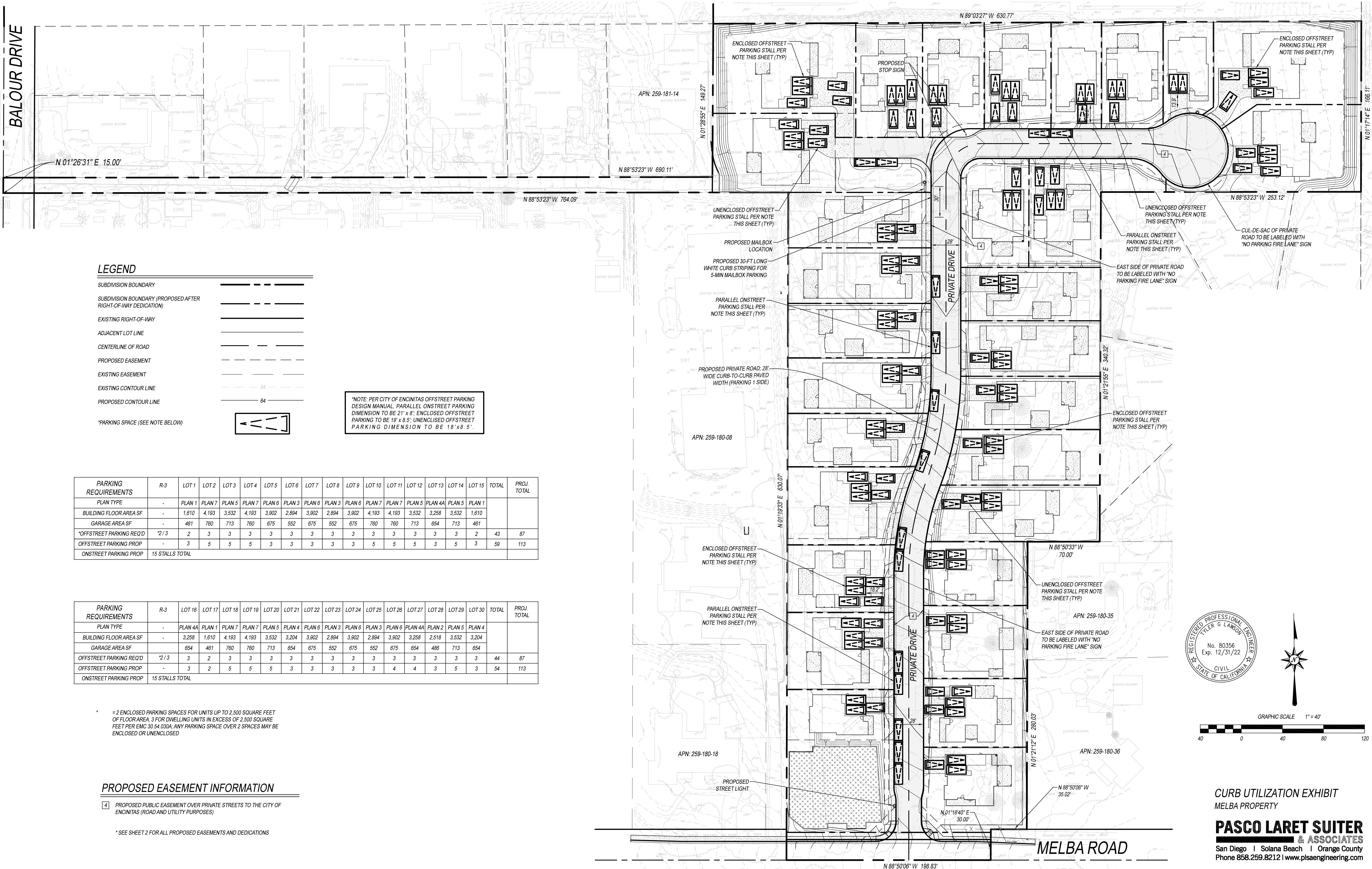
### 1220 - 1240 MELBA ROAD, 1190 ISLAND VIEW LANE



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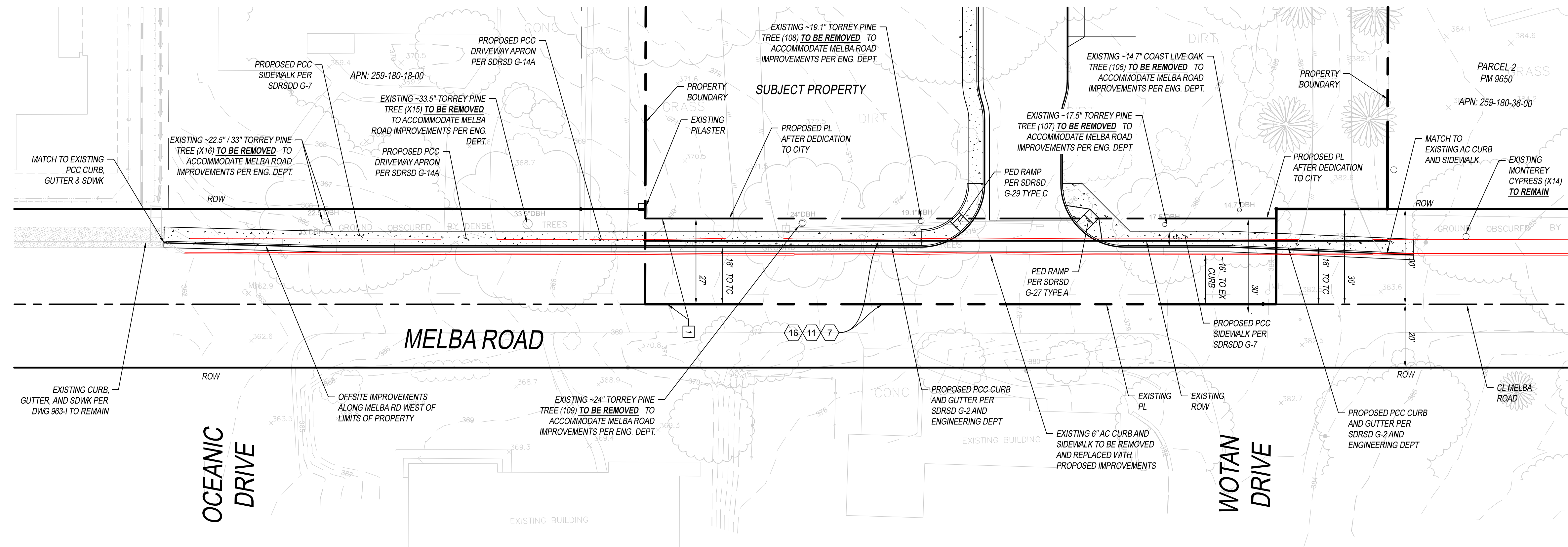
BALOUR DRIVE



CURB UTILIZATION EXHIBIT  
MELBA PROPERTY

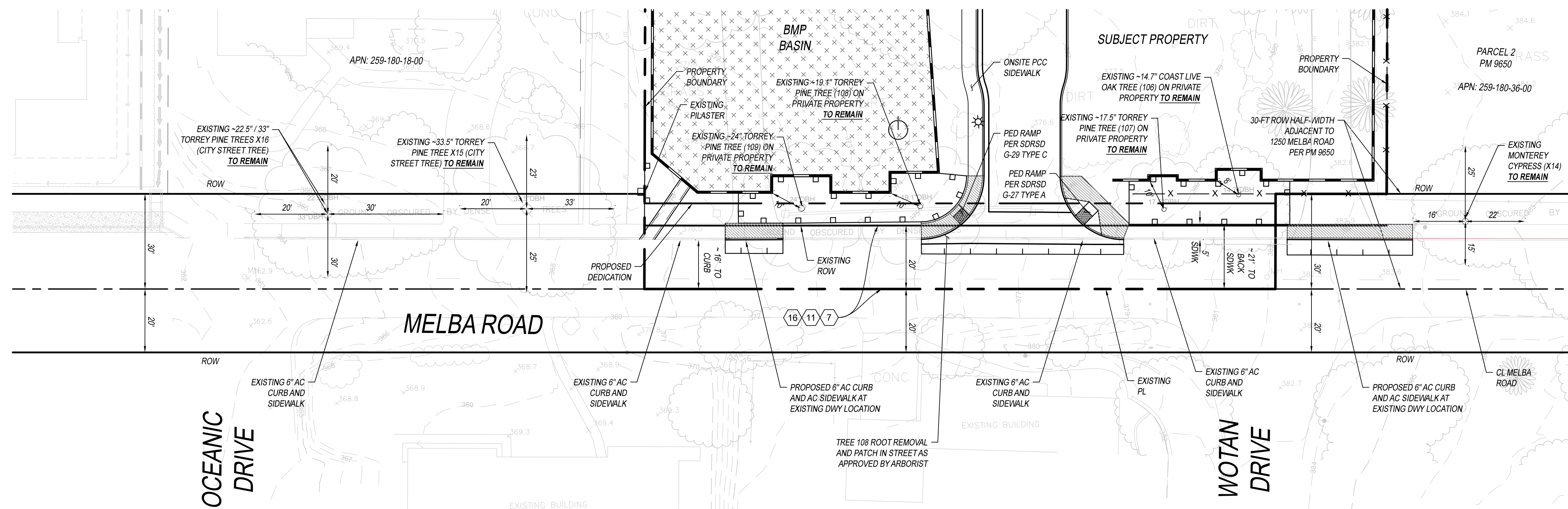
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PLAN VIEW - OPTION A: MELBA ROAD ULTIMATE IMPROVEMENTS  
PER CITY COUNCIL APPROVED PUBLIC ROAD STANDARDS

SCALE: 1" = 20' HORIZONTAL



PLAN VIEW - OPTION B: EXISTING  
IMPROVEMENTS MELBA ROAD

SCALE: 1" = 20' HORIZONTAL

## LEGEND

EXISTING SUBDIVISION BOUNDARY (PL)	---
CENTERLINE OF ROAD	—
RIGHT-OF-WAY (ROW)	---
PROPOSED SUBDIVISION BOUNDARY (AFTER DEDICATION)	---
ADJACENT PROPERTY LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED SAWCUT OF EXISTING AC PAVEMENT	---
PROPOSED LIMIT OF GRADING	---
PROPOSED 6" PCC CURB & GUTTER PER SDRSD G-2	---
PROPOSED PCC PAVEMENT / SIDEWALK	---
PROPOSED AC PAVEMENT / SIDEWALK	---
PROPOSED MASONRY RETAINING WALL	---
PROPOSED 6"x18" FLUSH CURB	---
LIMIT OF TREE PROTECTION ZONE (TPZ) PER ARBORIST REPORT	---
*DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 54" ABOVE NATURAL GRADE	20" DBH

## PROPOSED EASEMENTS / DEDICATIONS

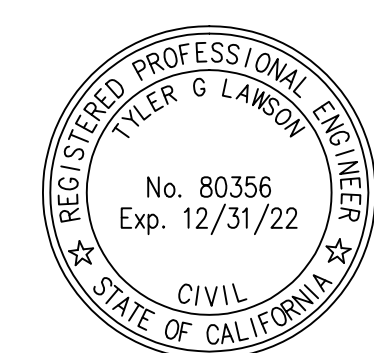
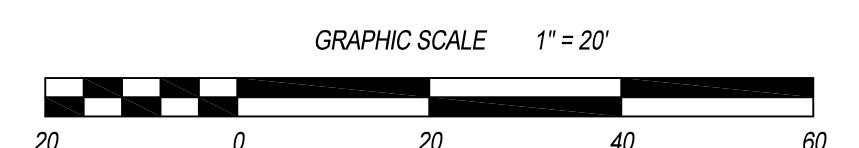
- 1 PROPOSED DEDICATION TO THE CITY OF ENCINITAS

## EXISTING EASEMENT INFORMATION

- 7 THE RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS GRANTED ON OCTOBER 29, 1953 IN BOOK 5030, PAGE 290 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO.
- 11 AN EASEMENT FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED AUGUST 11, 1938 IN BOOK 808, PAGE 216 OF OFFICIAL RECORDS IN FAVOR OF ANTON VAN AMERSFOOT.
- 16 AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1953 AS INSTRUMENT NO. 148900 OF OFFICIAL RECORDS, IN FAVOR OF THE COUNTY OF SAN DIEGO.

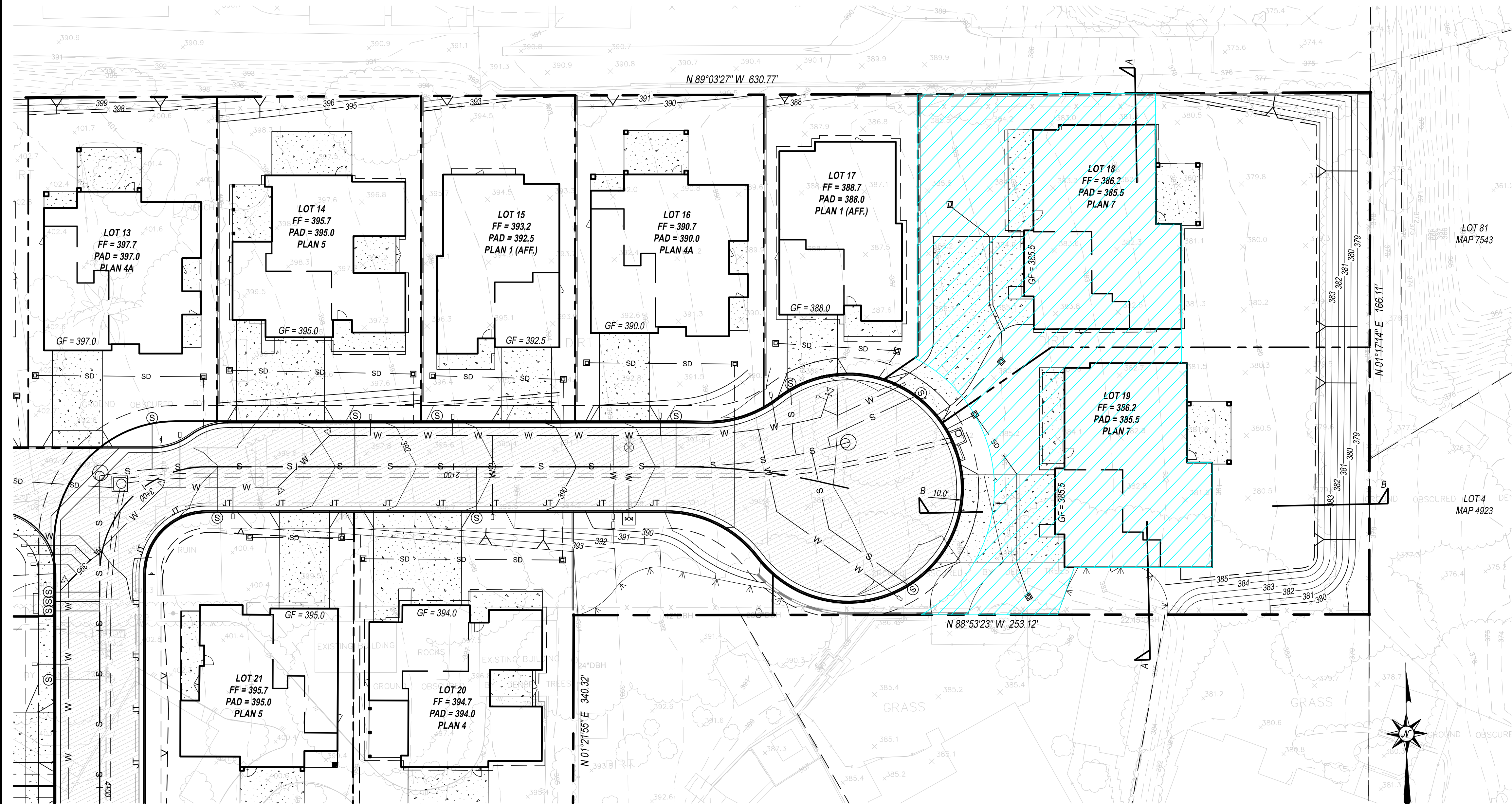
## NOTES

- CITY STREET TREES AND PRIVATE TREES ALONG MELBA ROAD PROPERTY FRONTAGE TO BE REMOVED UNLESS OTHERWISE NOTED. REFER TO SEPARATE ARBORIST REPORT FOR REMOVAL AND TREE PROTECTION ZONE (TPZ) RECOMMENDATIONS.
- REFER TO SEPARATE ARBORIST REPORT FOR RECOMMENDATIONS WITHIN THE TREE PROTECTION ZONE (TPZ) FOR THE EXISTING TREES ON PRIVATE PROPERTY AND ALONG PROPERTY BOUNDARY TO BE PROTECTED IN PLACE.
- DBH AS IT RELATES TO THE EXISTING TREES SURVEYED REFERS TO DIAMETER AT BREAST HEIGHT MEASURED AT 54" ABOVE THE NATURAL GRADE.



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LEGEND:

PROJECT PROPERTY LINE	---
EXISTING RIGHT-OF-WAY / PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED CONTOUR LINE	200
EXISTING CONTOUR LINE	---
PROPOSED MASONRY RETAINING WALL	---
PROPOSED SOUND WALL (NON-RETAINING)	---
LIMITS OF GRIND AND OVERLAY	---
LOT NUMBER	LOT 1
PAD ELEVATION	PAD = 200.0
FINISHED FLOOR ELEVATION	FF = 200.0
SOIL BURIAL AREA	---

SOIL BURIAL NOTES:

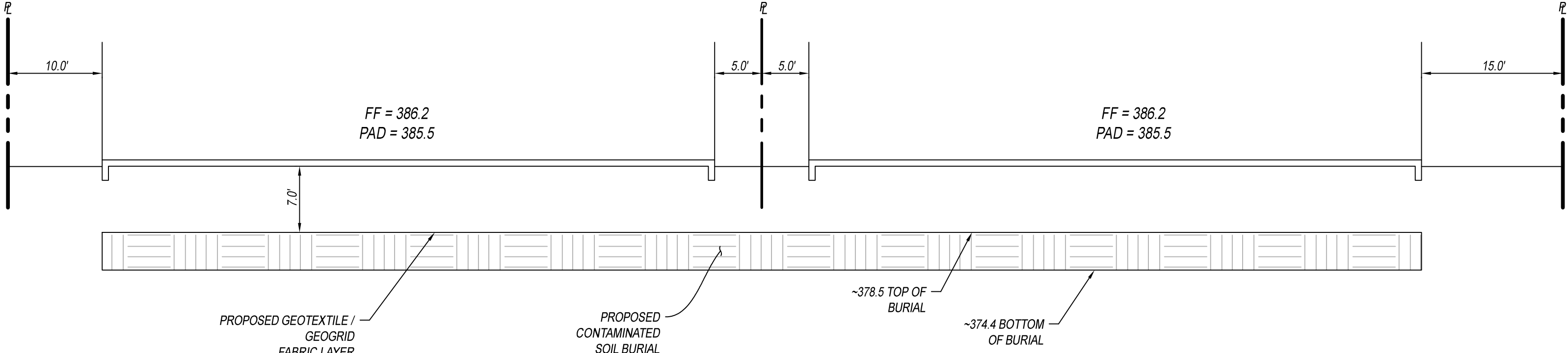
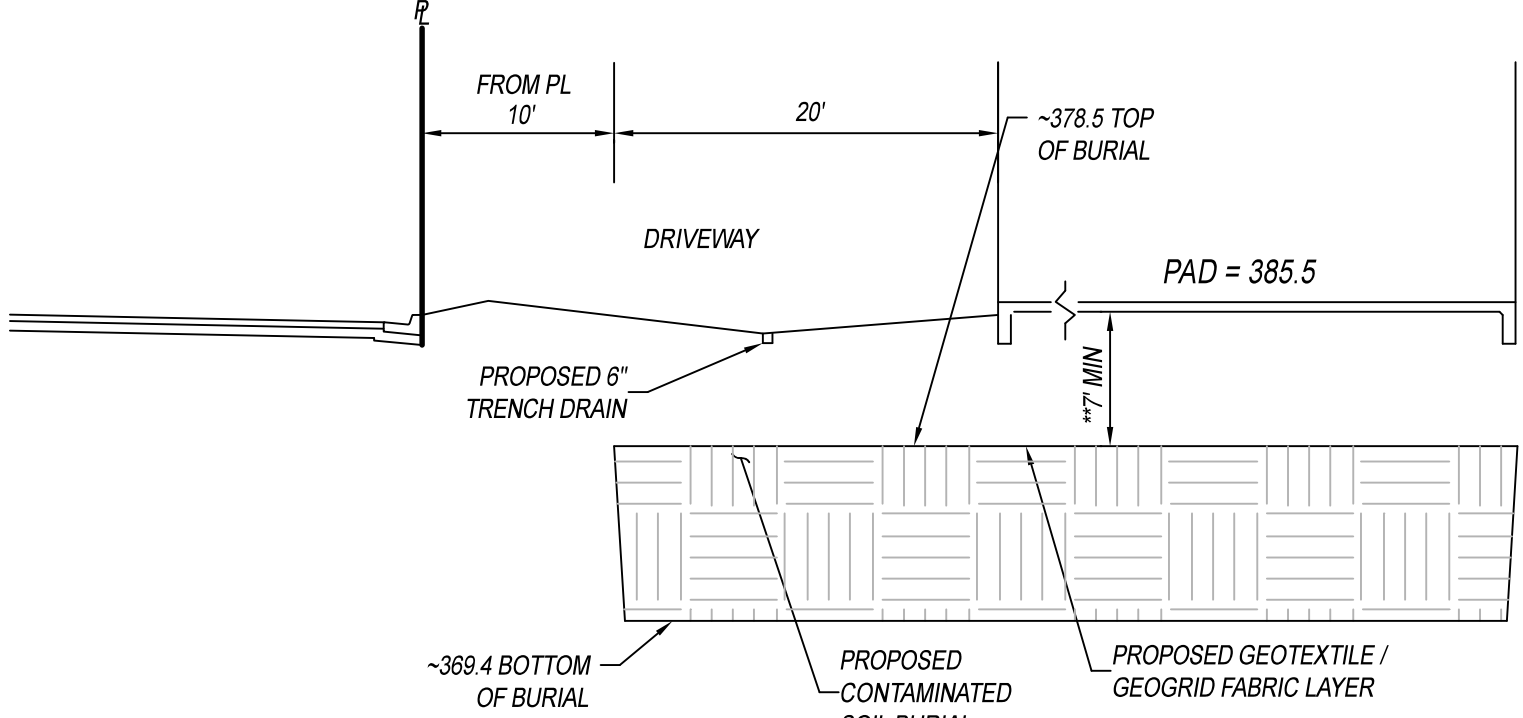
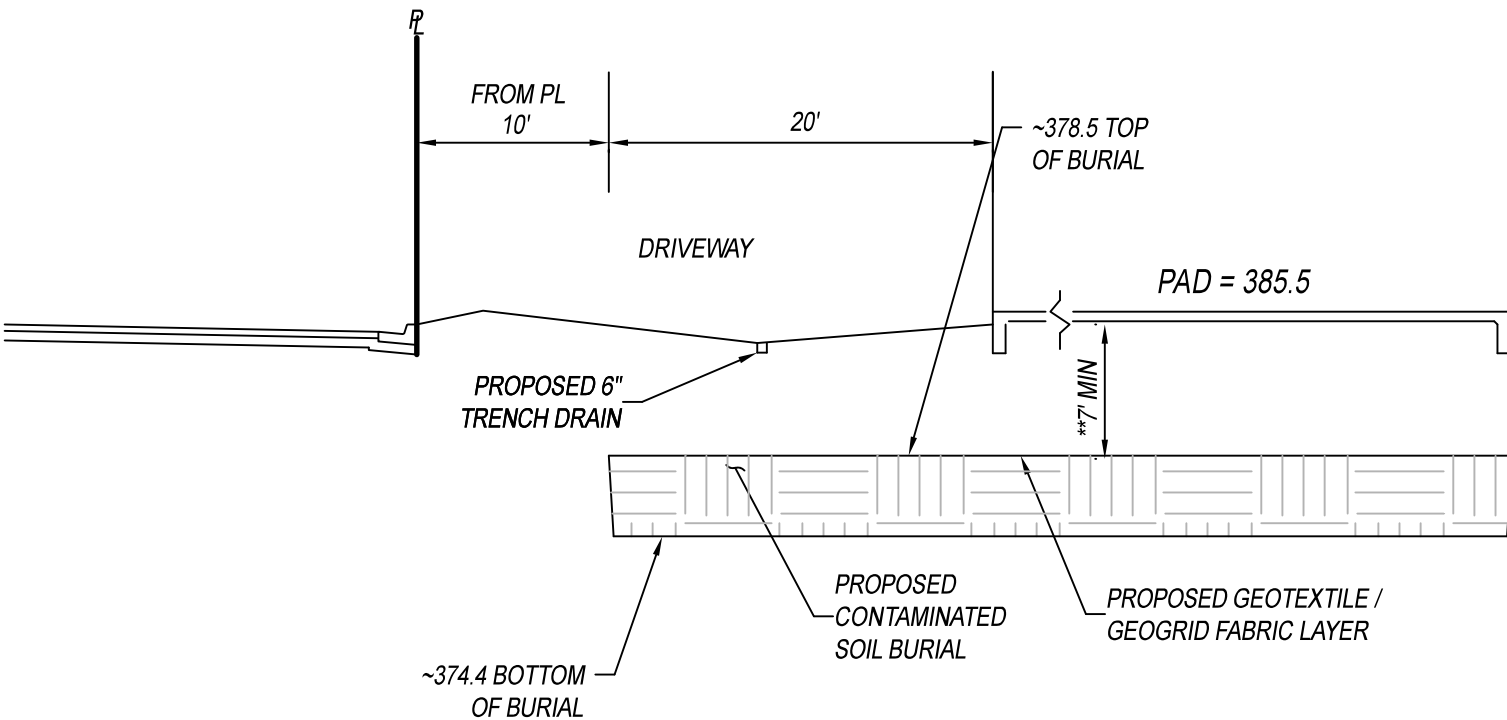
NOTE: THE ACTUAL BURIAL LIMITS MUST BE FIELD SURVEYED, AND A COVENANT RECORDED PRIOR TO ROUGH GRADE APPROVAL.

SOIL BURIAL CALCULATIONS (OPT 1)

**APPROX. VOLUME OF BURIAL ONSITE	1,800 CY
POTENTIAL SOIL BURIAL AREA	11,900 SF
AVERAGE DEPTH OF BURIAL	4.1 FT
LOWEST UTILITY INVERT ELEVATION	-
LOWEST DEPTH OF EXCAVATION	-
**EXACT VOLUME TO BE DETERMINED DURING CONSTRUCTION	

SOIL BURIAL CALCULATIONS (OPT 2)

**APPROX. VOLUME OF BURIAL ONSITE	4,000 CY
POTENTIAL SOIL BURIAL AREA	11,900 SF
AVERAGE DEPTH OF BURIAL	9.1 FT
LOWEST UTILITY INVERT ELEVATION	-
LOWEST DEPTH OF EXCAVATION	-
**EXACT VOLUME TO BE DETERMINED DURING CONSTRUCTION	





# ATTACHMENT B

## WAS DESIGN STANDARDS TABLE 4-1-1

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*From Water Agencies' Standards Design Guidelines for Water and Sewer Facilities, Section 4.1, Water Planning, Revised 07/28/2014.*

### 4.1.5 DWELLING UNIT DENSITY AND RESIDENTIAL UNIT WATER DEMAND

The Engineer of Work shall estimate the residential population in the service area based on existing and ultimate allowable land use. Unless otherwise provided by the AGENCY, unit water demands shall be estimated based on dwelling unit density in Table 4-1-1.

**Table 4-1-1**  
**Dwelling Unit Density and Unit Water Demands**

Dwelling Unit Density (dwelling units/gross acre)	Unit Density (persons/dwelling unit)	Population Density (persons/gross acre)	Unit Water Demand (gallons/gross acre-day)
0.1	6.0	0.6	90
0.2	6.0	1.2	180
1	6.0	6.0	900
2	3.5	7.0	1050
3	3.5	10.5	1575
4	3.5	14	2100
8	3.5	28	4200
9	3.5	32	4800
14	3.2	45	6750
29	3.0	87	13050
43	2.6	112	16800
73	2.2	161	24150
109	1.8	196	29400
218	1.5	327	49050