



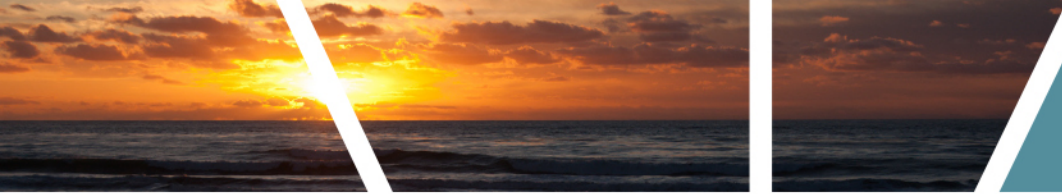
City of Encinitas
Planning Commission
Public Hearing
June 7, 2018



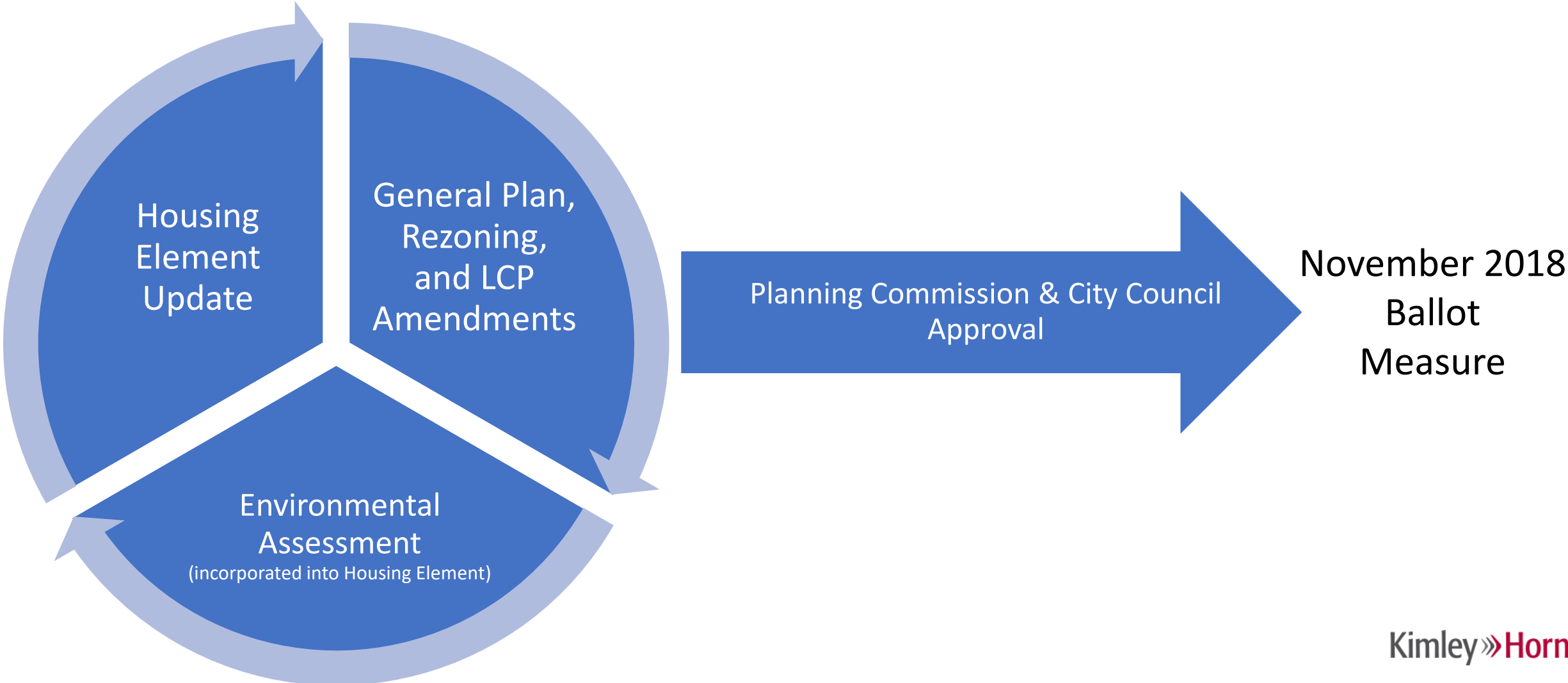
Presented by:

Kimley»Horn

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Public Hearing Items

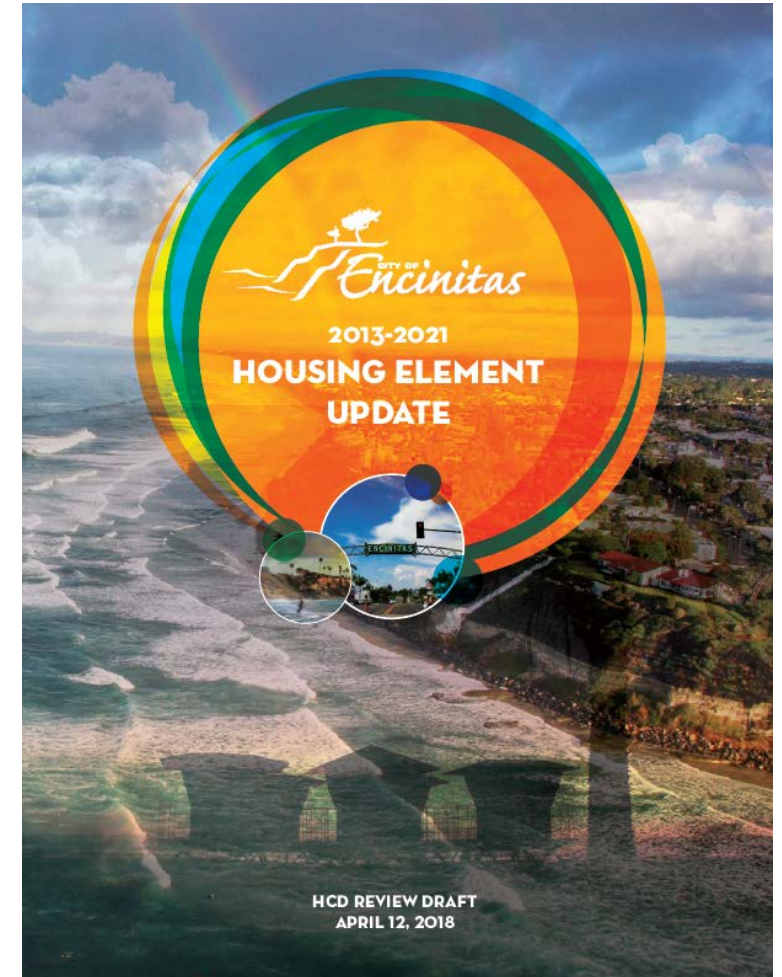




Housing Element Overview

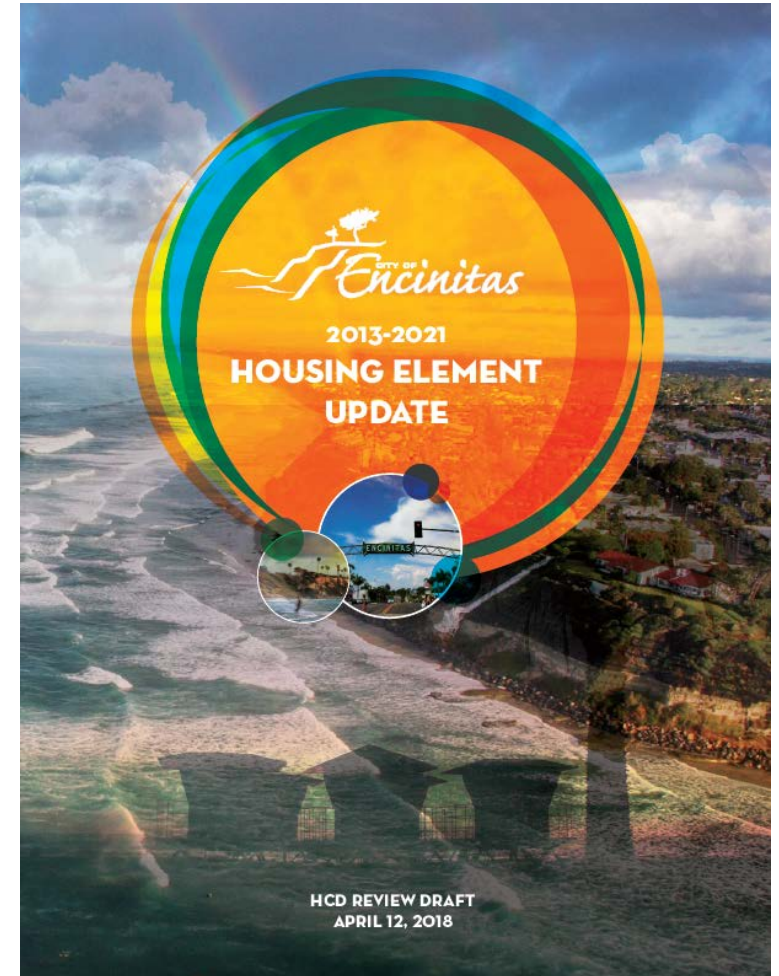
What is a Housing Element?

- One of the seven required Elements of the Encinitas General Plan
- Provides Policies and Programs for the Availability of Residential Uses for a Variety of Income Levels
- 2013-2021 Planning Period Set by State Law
- Determines the City's Regional Share of Housing by Income Category
- Requires Review by the State Department of Housing and Community Development (HCD) for Compliance with State Law



Why Should Encinitas have a Certified Housing Element?

- State law requires the city to provide sufficient sites to meet projected demand for housing in the community
- Encinitas must demonstrate the availability of sites in the planning period
- Failure to identify sites can result in:
 - Exposure to lawsuits by developers/land owners
 - Stopping of all building permits citywide until rezoning occurs
 - Ineligibility of the city to pursue grant and funding opportunities
 - Temporary loss of local control for land use decision-making



2013-2021 Regional Housing Needs Assessment

Income Category	Affordability	Income Range	Housing Units
Very Low	0-50% MFI	\$0-\$40,900	587 (+ 144)
Low	51-80% MFI	\$40,901-\$65,440	446 (+ 109)
Moderate	81-120% MFI	\$65,441-\$98,160	413
Above-Moderate	> 120% MFI	\$98,160 or greater	907
		TOTAL	2,353 (+ 253)

Carryover Requirement of $144+109=253$ units

MFI = Median Family Income

2018 MFI for San Diego County is \$81,800

2013-2021 Progress in Meeting RHNA

Income Category	RHNA Allocation	Units Constructed and Approved	Remaining Need
Very Low	0-50% MFI	145 units	1,141 units
Low	51-80% MFI		
Moderate	81-120% MFI	4 units	355 units
Above-Moderate	> 120% MFI	892 units	15 units
TOTAL		1,095 units	1,511 units

MFI = Median Family Income

2018 MFI for San Diego County is \$81,800



Housing Element Update Schedule

Housing Element Update Schedule

- **60-Day HCD Review Process**
 - Began April 13, 2018
 - 3rd Party Comments Received
 - HCD Informal Comments
- **Environmental Assessment (EA)**
 - Released May 25, 2018
- **Public Hearings**
 - Planning Commission – June 7, 2018
 - City Council – June 20, 2018
 - 2nd Reading; Approve Ballot Measure – July 18, 2018
 - Community Votes – November 2018



Housing Element Content

Housing Element Contents

- **SECTION ONE** – Housing Element Introduction provides and overview of the city’s policies and programs for Housing
- **APPENDIX A** – provides and overview of the city’s outreach efforts as part of the Housing Element update
- **APPENDIX B** – provides demographic, economic and other data to evaluate past, current and future housing and demographic conditions in the city
- **APPENDIX C** – provides an analysis of site available to meet the city’s remaining RHNA obligations

Section 1 – Introduction and Housing Element Goals, Policies, and Implementation Programs

- Summary of the five **Housing Element Goals***:
 1. Encourage provision of a wide range of housing to meet existing and future housing needs.
 2. Sound housing will be provided in the City of Encinitas for all persons.
 3. City will encourage the maintenance and preservation of existing housing stock as well as quality of design in new housing.
 4. City will attempt to ensure the continued affordability of deed-restricted affordable units.
 5. City will develop strategies and actions to reduce or eliminate constraints to the development of housing.

*Full text available online at <http://www.ci.encinitas.ca.us/Housing-Plan-Update-2018>

Appendix A – Summary of Community Engagement

- Numerous meetings open to the public, including:
 - Community Open House
 - Development Standards Community Workshop
 - Housing Element Task Force Meetings
 - City Council Meetings
 - Planning Commission Meetings
- Topical Areas Discussed:
 - Adequate sites
 - Demographic and market data
 - Development standards
 - Policies and Programs

HOUSING ELEMENT TASK FORCE(HETF)	NOTES
February 13, 2017	HETF meeting
February 23, 2017	HETF meeting
March 9, 2017	HETF meeting
April 10, 2017	HETF meeting
May 4, 2017	HETF meeting
August 10, 2017	HETF meeting
September 5, 2017	HETF meeting
September 26, 2017	HETF meeting
October 16, 2017	HETF meeting
February 28, 2018	HETF meeting
CITY COUNCIL	NOTES
February 6, 2017	Special meeting
November 8, 2017	Regular meeting
December 16, 2017	Joint meeting with Task Force
January 10, 2018	Joint meeting with Task Force
April 4, 2018	Joint meeting with Task Force
STAKEHOLDER	NOTES
February 28, 2018	Stakeholder meeting #1
April 4, 2018	Stakeholder meeting #2 (Pending)
WORKSHOPS/OPEN HOUSE	NOTES
February 1, 2017	Special Council Meeting/Housing Element Workshop
May 10, 2018	(Pending)

Appendix B – Housing Profile Report

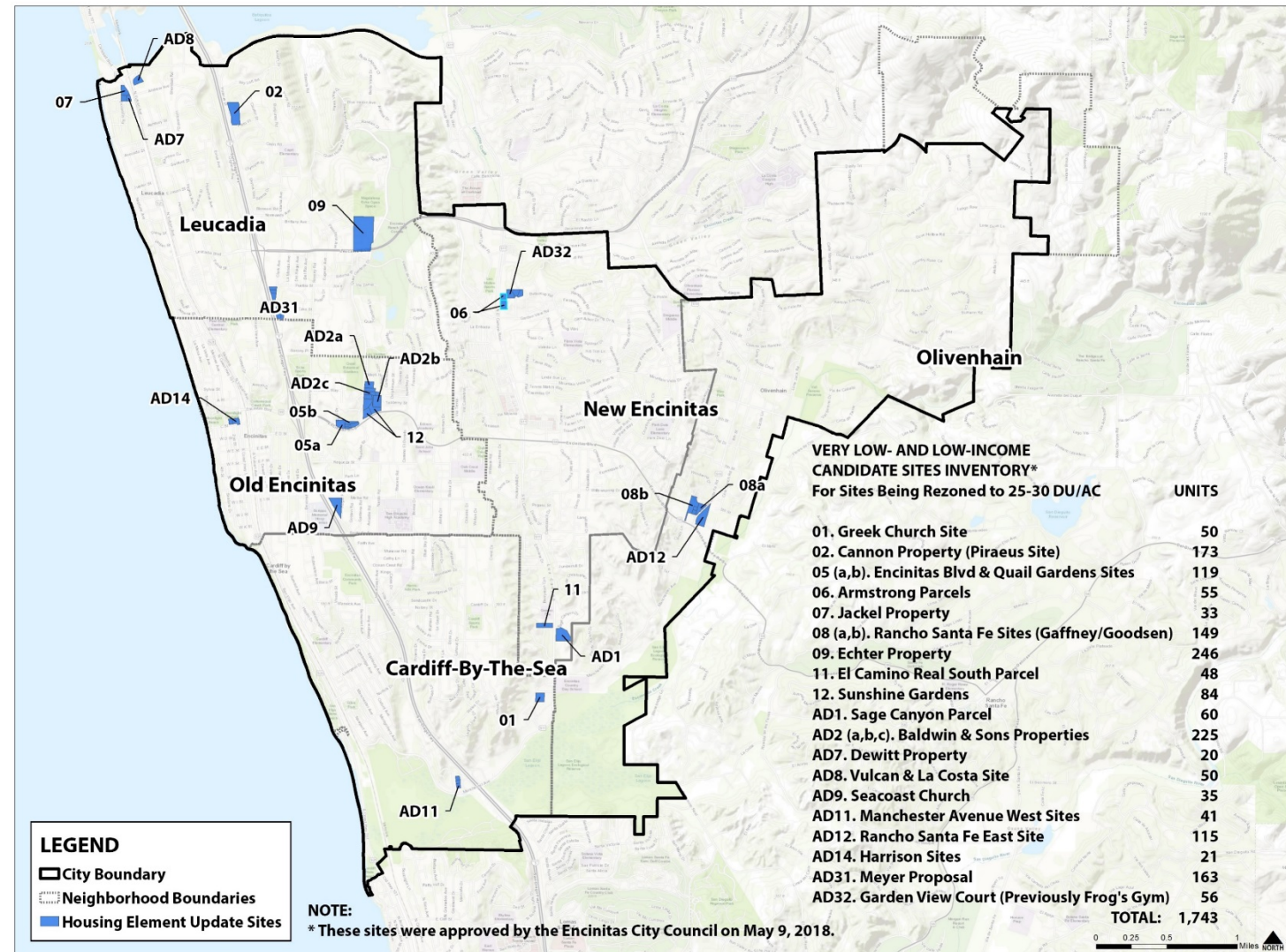
- Discusses major components of housing needs in Encinitas, including:
 - Population
 - Household Characteristics
 - Economic and Housing Stock Characteristics
 - Special Needs Groups
 - Affordable Housing
 - Governmental and Non-Governmental Constraints
 - Environmental and Infrastructure Constraints
 - Housing Resources
 - Financial Resources
 - Evaluation of Previous Housing Element Related Work Efforts

Appendix C – Adequate Sites Analysis

- Contains site inventory and analysis for sites proposed to meet the City of Encinitas' Regional Housing Needs Assessment (RHNA) allocation for the 2013 – 2021 planning period
- Four categories:
 - Very Low
 - Low
 - Moderate
 - Above Moderate
- 19 sites with a potential for 1,743 units, assuming sites are developed at a minimum density of 25 units per acre
- More than 50% of the units are on parcels with a residential base zone
- More than 50% of the Very Low and Low Income RHNA need (1,141 units) are accommodated for on “vacant” parcels , as defined by HCD.

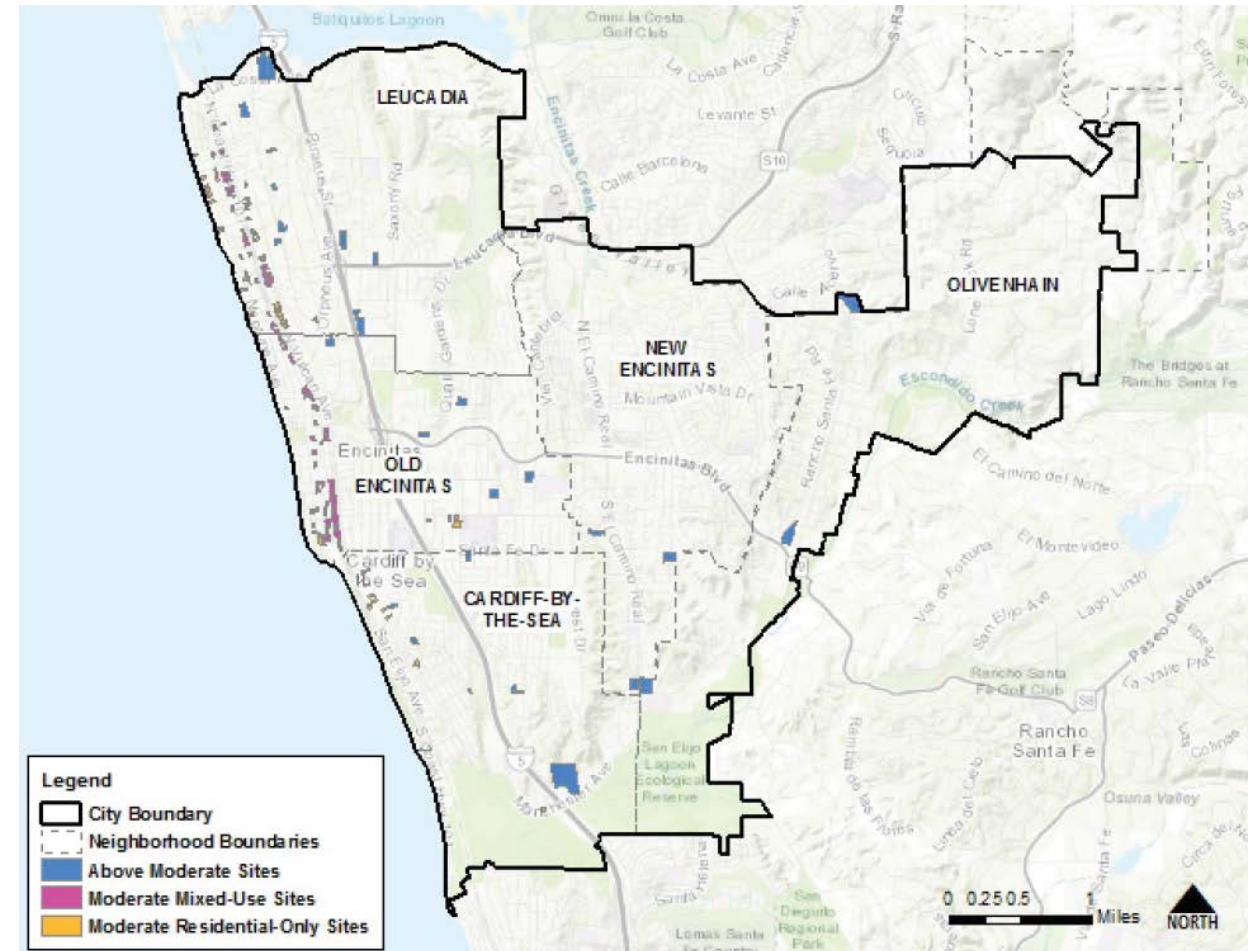
Very Low- and Low-Income Sites

- Sites must accommodate the remaining RHNA need during the planning period
- Site defined by income category
 - Lower Income (80% MFI or less)
 - Market Rate (81% MFI and up)
- Site evaluated for:
 - Site Constraints
 - Likelihood to develop/redevelop
 - Availability of Infrastructure
 - Appropriate Zoning
 - Owner Interest
 - Equitable Distribution



Market Rate Sites

- Similar to Measure T Sites
- No Requirements for Rezoning
- In-Fill Sites
 - Downtown Encinitas
 - North Hwy 101
- Total Candidate Site Yield
 - Moderate: 523 units
 - Above Moderate: 177 units





Rezone Program Development Standards

Rezone Methodology

- Rezone as “Overlay”, preserving base zone standards
 - Rezone of “lower income” sites in Housing Element
- Residential uses are a matter of right in Overlay
- Specific Plan Amendments
 - Amendments of development standards, as applicable
 - North 101 Corridor (N-R3;N-LVSC;N-CRM-1)
 - Downtown (D-VCM zone)
 - Encinitas Ranch (ER-AG)



Development Standards – Zoning Amendments

- Provides Development Standards for Units affordable to those with income 80% or less of County MFI.
 - 2018 MFI for San Diego = \$81,000
- Consistent with existing Zoning Code format
- Applicable Site Development Considerations
 - Setbacks
 - Height
 - Lot Coverage
 - Parking
 - Storage
 - Open/Amenity Space
 - Upper-floor Stepbacks



Development Standards

- Full list of proposed development standards for the R-30 Overlay (R-30 OL)
- Planning Commission recommendations from first meeting discussed in further detail on next slide

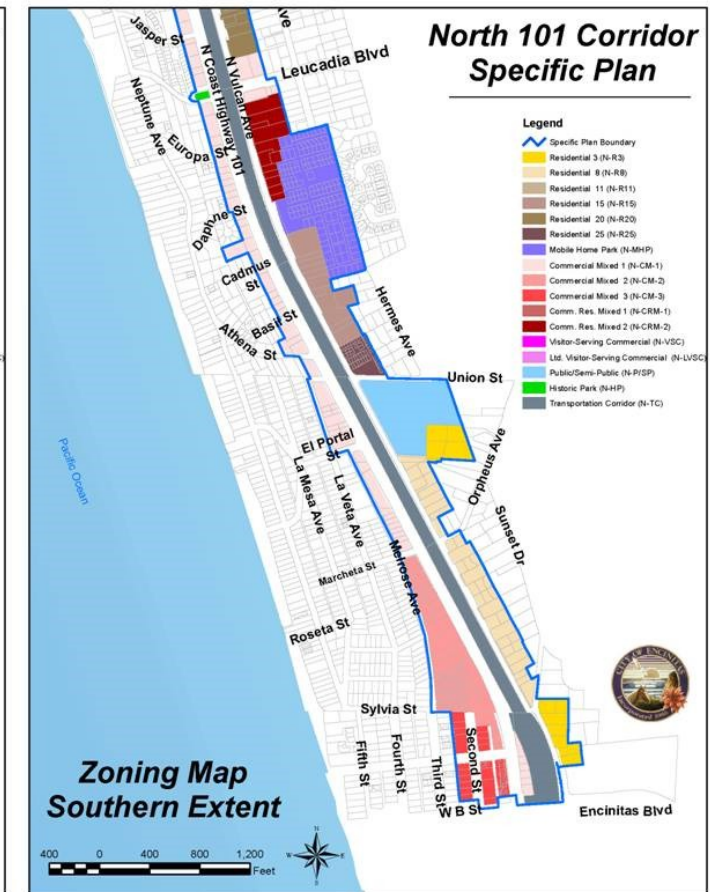
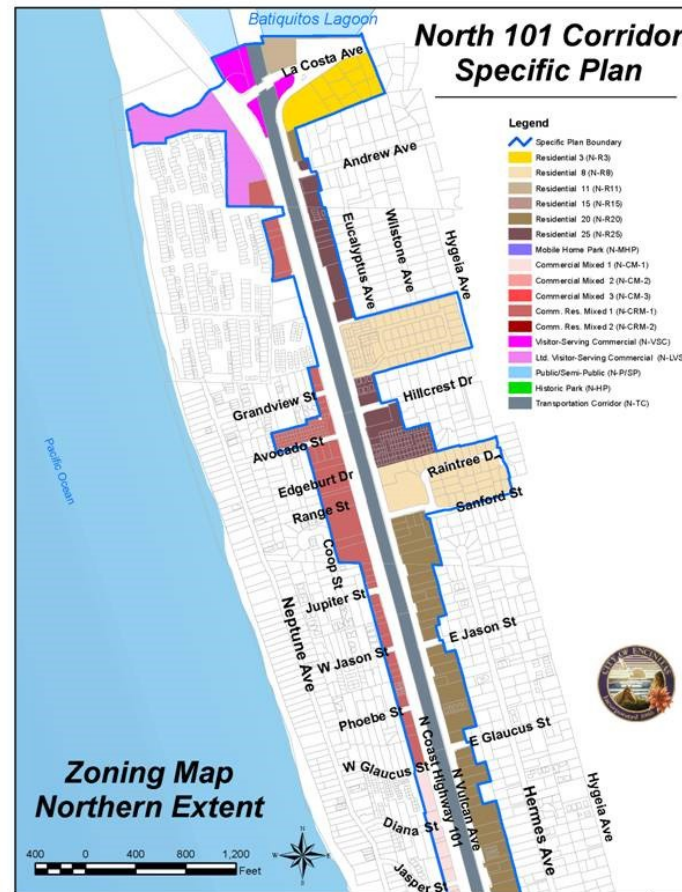
ZONE REQUIREMENT	R-15	R-20	R-25	MHP	R-30 OL
a. Density (Maximum dwelling units per net acre)	15.0	20.0	25.0	11.0	30
Density (Minimum dwelling units per net acre)					25
b. Midrange Density (See Section 30.16.010B1 & B2)	13.0	17.5	22.5	9.5	N/A
c. Net Lot Area (sq. ft.)	20,000	20,000	20,000		30,000
d. Lot Width (ft.)	100	100	100		100
e. Lot Depth (ft.)	150	150	150		150
f. Front Yard Setback (ft.)	20	20	20		10
g. Side Yard Setback (ft.) for each interior side (Standard Lot) ⁵	15/15	15/15	15/15		10
h. Side Yard Setback (Substandard Lot) street side ^{3,5}	5/5	5/5	5/5		N/A
i. Street Side Yard Setback (Standard Lot) (ft.) ⁵	20	20	20		10
j. Street Side Yard Setback (Substandard Lot) ^{3,5}	10	10	10		N/A
k. Rear Yard Setback (ft.)	15	15	15		10
l. Rear Yard Setback Where Alley Exists	20	20	20		10
m. Lot Coverage (maximum percentage)	40	40	40		65
n. Building Height (See 30.16.010B6)					33/37*
o. Distance between buildings on the same lot less than 16 ft. in height	15	15	15		15
p. Distance between buildings on the same lot greater than 16 ft. in height	20	20	20		15
q. Distance between buildings across alley or private drive					30
r. Distance between buildings across a green court					20
*Additional height (4 feet max.) above the standard 33 foot limit may be permitted to accommodate variations in roof pitch.					

Summary of Development Standards

Proposed Standards	Planning Commission Comments May 17, 2018	City Council Discussion May 23, 2018
<u>Unit Size</u> Max avg. unit size for whole development. Max Rental – 1,000 sq.ft. Max For Sale – 1,150 sq.ft.	1. Max avg. unit size for whole development 2. Max size by unit type	Max Average Unit Size. Average for rental to be lower than for sale
<u>Setbacks</u> Front, Rear, Side – 10 feet Internal to Subdivision – 5 feet	Consider transition zones proposed in Measure T.	Consider transition zones when adjacent to single family. Consider approach in Measure T.
<u>Transitions</u> Additional 5-foot setback when directly abutting single-family uses.	Not discussed. New standard developed in response to comments on transition zones.	Not discussed. New standard developed in response to comments on transition zones.
<u>Parking - Affordable</u> Studio/ 1 bedroom - 1.0 sp.unit 2 Bedroom – 1.5 sp/unit 3+ Bedroom – 2.0 sp/unit Guest – inclusive of above	Reduced standards for affordable units. Maintain existing standards for market rate.	Comments consistent with proposed standard.
<u>Wall Stepbacks</u> 5-foot aggregate stepback above 1 st Floor Not required for 2 stories Minimum 1-foot stepback	Consider additional 3rd floor setback Review Measure T for 3rd floor coverage	Ensure transitions when adjacent to single-family

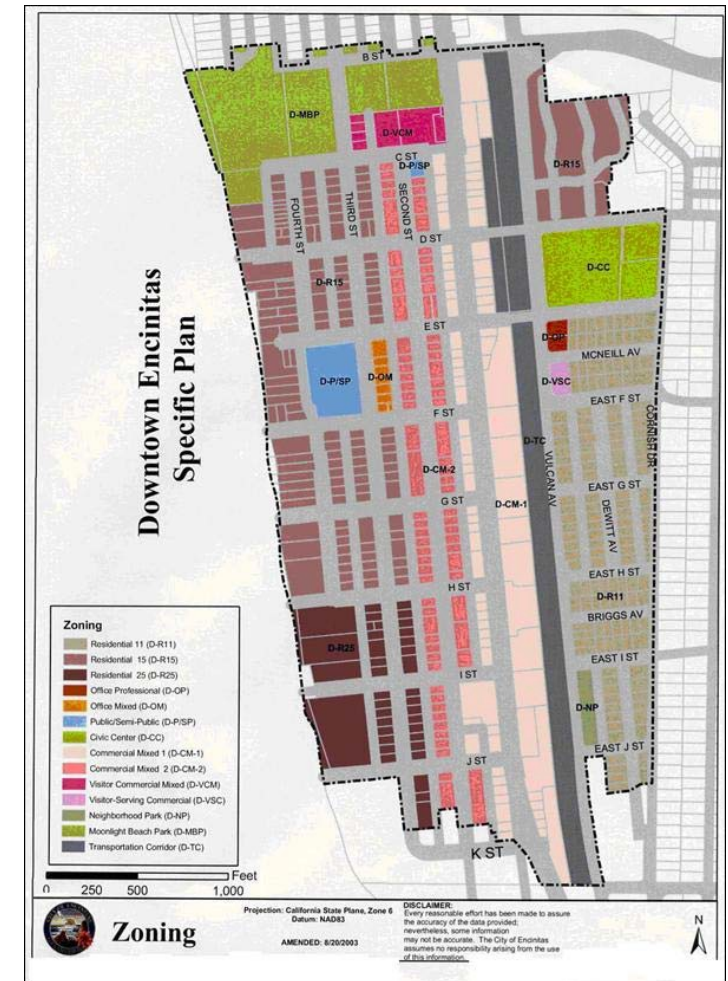
Specific Plan Areas – N 101 Specific Plan

- Sites in N101 Specific Plan Area
 - 07 – Jackel Property
 - AD7 – Dewitt Property
 - AD8 – Vulcan & La Costa Site
- N-R3 (R-30 OL), N-CRM-1 (R-30 OL), and N-L-VSC (R-30 OL) added
- Development Standards added consistent with R-30-OL zone
- Associated maps amended



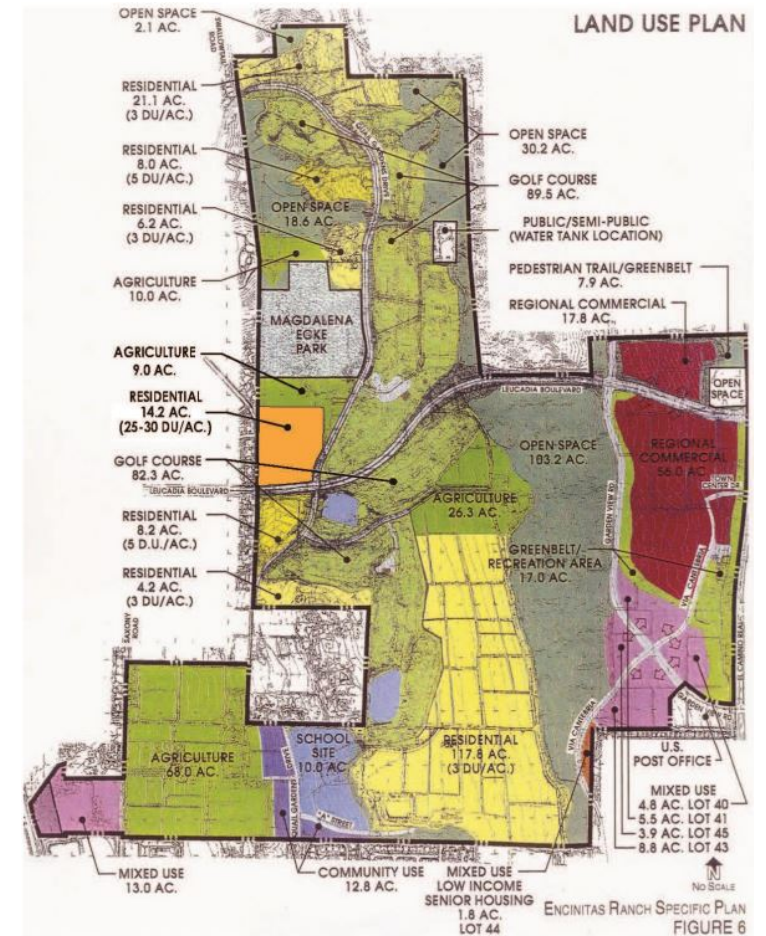
Specific Plan Areas – Downtown Specific Plan

- Sites in Downtown Specific Plan Area
 - Harrison Sites
- D-VCM-R-30 OL zone added
- Section 3.2.2C of the Downtown Specific Plan amended
- Development Standards added consistent with R-30-OL zone
- Associated maps amended



Specific Plan Areas – Encinitas Ranch Specific Plan

- Sites in Encinitas Ranch Specific Plan Area
 - Echter Property
- Chapter 6.0, Table 6-2, and numerous Sections amended
- Section 6.6 – Multi-Family Residential Zone (“ER-R-30” Zone)
- Development Standards added consistent with R-30-OL zone
- Language added to allow “agrihood” concept
- Associated maps amended





2013-2021 Housing Element Update Environmental Assessment

Released May 25, 2018

Environmental Assessment (EA)

Proposed Actions Detailed in EA Chapter 3.0, *Project Description* (i.e., “Project”)

- Subject to "Judgments Pursuant to Stipulation" approved by San Diego Superior Court that require City to adopt an update to its Housing Element
- California Government Code § 65759 and the Judgements provide that the actions necessary to bring the Housing Element into compliance are not subject to CEQA provided an EA is prepared in Draft EIR form

May 25, 2018 EA

- Constitutes "environmental assessment" required by California Government Code § 65759
- Conforms to required content of a Draft EIR (State CEQA Guidelines § 15140 et seq.)

Purpose of Environmental Assessment

- Evaluate housing program's environmental effects
- List ways in which the Project's significant effects might be avoided/mitigated/minimized; and
- Indicate Project alternatives



Environmental Issues Addressed

- Aesthetics
- Air Quality
- Biological Resources
- Cultural Resources
- Geology and Soils
- Greenhouse Gas Emissions
- Hazards and Hazardous Materials
- Hydrology and Water Quality
- Land Use
- Noise
- Population and Housing
- Public Services and Recreation
- Transportation and Traffic
- Utilities and Service Systems

Topical Areas Addressed for Each Environmental Issue:

- Existing Environmental Setting
- Existing Regulatory Setting
- Potential Project Impacts
 - Direct and Indirect
 - Short-Term Construction and Long-Term Operational
 - Cumulative
- Mitigation Measures Proposed to Avoid/Lessen Significant Effects
- Significant Unavoidable Impacts (if any)

EA Project and Alternatives

Project Estimated Conservative “Maximum Residential Yield” (MRY)

- Based on 17 “Candidate” Sites - Not all EA sites ultimately in Housing Element
- Estimated Solely for Environmental Analysis
- EA Subject to Differing Regulations than Housing Element, resulting in Greater MRY

EA Project v. Measure T (EIR)

	Measure T MMUP Strategy	EA Project	Change
Residential	3,261 DU MRY	2,494 DU MRY	-767 DU (-24%)
Non-Residential	1.6M SF MRY	0 SF	-1.6M SF (-100%)
Traffic	30,149 ADT	14,964 ADT	-15,185 ADT (-50%)

Note: MRY = Maximum Realistic Yield; SF = Square Feet; ADT = Average Daily Trips

EA Project and Alternatives (cont'd)

“Alternative Candidate Sites” Alternative reduced MRY

- Based on revised Housing Element Inventory Site List
- Estimated MRY 12% lower than Project
- Reduced Air Quality, GHG, Noise. Population/Housing, Public Services/Recreation, Transportation/Traffic, Utilities Impacts compared to Project

“Alternative Candidate Sites” – Alternative v. Project

	EA Project	Alternative	Change
Candidate Sites	17	20	+3
Parcels	36	46	+10
Gross Acres (AC)	111.2 AC	107.3 AC	-3.9 AC (-3%)
Residential	2,494 DU MRY	2,201 DU MRY	-293 DU (-12%)
Traffic	14,964 ADT	13,206 ADT	-1,758 ADT (-12%)

Note: MRY = Maximum Realistic Yield; SF = Square Feet; ADT = Average Daily Trips

Key Mitigation Measures

- **AQ-2: Construction Emissions:** Air Quality Assessment for Construction-Related Emissions required for projects exceeding significance thresholds. Mitigate construction emissions to below SDAPCD's thresholds.
- **BIO-1: Sensitive Species:** Where City determines potential for significant impacts to sensitive biological resources, a site-specific general biological resources survey required. Also, focused presence/absence surveys, if required.
- **BIO-2: Least Bell's Vireo:** Where City determines potential for significant impacts to LBV, USFWS protocol survey required, if within 300 feet of riparian habitat during breeding season.
- **BIO-3: Nesting Birds:** Where City determines presence of mature trees/native vegetation suitable for nesting birds, preconstruction survey required.
- **BIO-4: Sensitive Vegetation Communities:** Where significant impacts to sensitive vegetation communities could occur, avoidance, minimization, and mitigation measures required in accordance with the MHCP.
- **BIO-5: Wetlands:** Where City determines potential impacts to sensitive biological resources, site-specific biological resources survey required. Also, jurisdictional delineation, if required.

Key Mitigation Measures (cont'd)

- **CUL-1: Historical Resources:** Where City determines potential impacts to historical resources: verification of age/original structural integrity; and evaluation of historic architectural resources, if required.
- **CUL-2: Archaeological & Tribal Cultural Resources:** Where City determines potential for impacts to archaeological/tribal cultural resources, on a previously undisturbed housing site, archaeological survey required.
- **CUL-3: Paleontological Resources:** Where City determines potential for impacts to paleontological resources, paleontological monitoring required.
- **GHG-1: GHG Emissions:** GHG Emissions Assessment required for projects exceeding significance thresholds. Mitigate GHG emissions to below thresholds.
- **GHG-2: GHG Emissions – Program Level:** City update and adopt Climate Action Plan within 20 months after HEU takes effect.
- **GHG-3: GHG Emissions:** Discretionary projects exceeding screening threshold, project-specific GHG analysis required, identifying project-level significance threshold and project-specific mitigation measures.

Key Mitigation Measures (cont'd)

- **HAZ-1: Hazardous Materials:** On selected candidate sites, Phase I ESA required. Also, Phase II ESA, if required.
- **HYD-1: Flooding/Inundation:** Where City determines potential for flooding, compliance with City's Floodplain Management Regulations required.
- **NOS-1: Operational Noise:** Where future development proposed adjacent to commercial uses, site-specific noise study required.
- **NOS-2: Construction Noise Reduction Program:** Site-specific Noise Reduction Program required.
- **NOS-3: Construction Noise Control Program:** Site-specific Construction Noise Control Program required.
- **TRF-1: Circulation System Capacity & Operations:** Site-specific study required to determine if fair-share contribution warranted to mitigate significant traffic impacts resulting from build-out of development, if City-adopted Capital Improvement Program includes recommended improvements.

Subsequent Environmental Review

- Future Projects Eligible For “By Right”
 - Include 20 Percent Lower Income Housing and No Subdivision
 - Exempt from Further CEQA Review
 - Subject to Design Review and LCP
 - 2016 Program EIR and 2018 EA Mitigation Program Apply
- Future Projects Not Eligible For “By Right”- Requiring Discretionary Review
 - Tier From 2016 Program EIR and incorporate 2018 EA
 - Subject to 2016 Program EIR and 2018 EA Mitigation Program
 - Review Based on 2016 Program EIR and 2018 EA- If Significant Environmental Effects Not Examined in 2016 Program EIR/2018 EA, Subject to Further CEQA Review

PC Hearing Recommended Actions

- Conduct the Public Hearing
- Adopt PC Resolution No. 20118-xx recommending that the City Council adopt the Housing Element update, along with associated amendments to the General Plan, Zoning Code, Zoning Map, Specific Plans and Local Coastal Program.